

# **Attachment Booklet Part 1**

**Monday 11 December 2017**

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GR1, GR2, GR3, GR4, GR6, GR7, GR8, GR9, GR10 & GR11

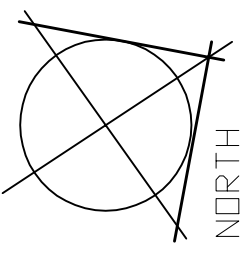
# GR1 Attachments

1. Amended Plans submitted on 2 November 2017
2. Amended Site Plan submitted on 8 November 2017
3. Economic Analysis Report

**Monday 11 December 2017**

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GR1 – Development Application No.010.2017.00000678.001 for 89-91 Argyle Street,  
Picton - Rebuild of Commercial Building and use as Food and Drink  
Premises (Restaurant)

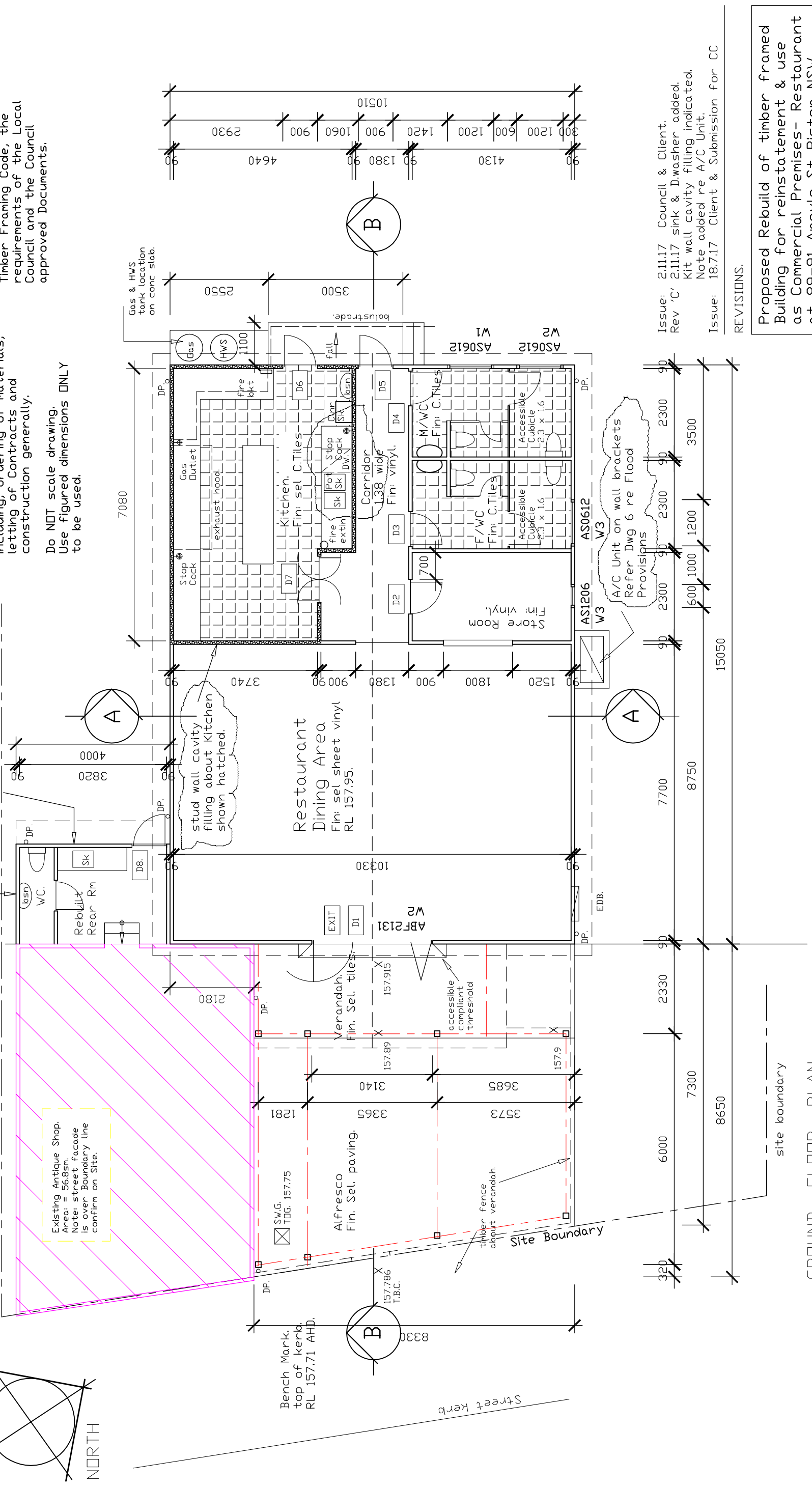


2600  
2510  
90  
wall construction  
90 / 90 / 90 rating  
where within 3 metres  
of boundary.  
Refer Spec.

Existing Antique Shop.  
Area = 56.8sm.  
Note: street facade  
is over Boundary line  
confirm on Site.

**Compliances.**  
All work to comply with the requirements of the Building Code of Australia, The Light Timber Framing Code, the requirements of the Local Council and the Council approved Documents.

**DRAFTING IDENTIFICATION.**  
Confirm all dimensions on site before any and all works including, ordering of materials, letting of Contracts and construction generally.  
Do NOT scale drawing. Use figured dimensions ONLY to be used.



**GROUND FLOOR PLAN**  
Floor Area: 158.17 sm.  
Verandah area: 71.6 sm.  
Total: 229.77 sm.

Issue: 2.11.17 Council & Client.  
Rev 'C' 2.11.17 sink & D.washer added.  
Kit wall cavity filling indicated.  
Note added re A/C Unit.  
Issue: 18.7.17 Client & Submission for CC

REVISIONS.

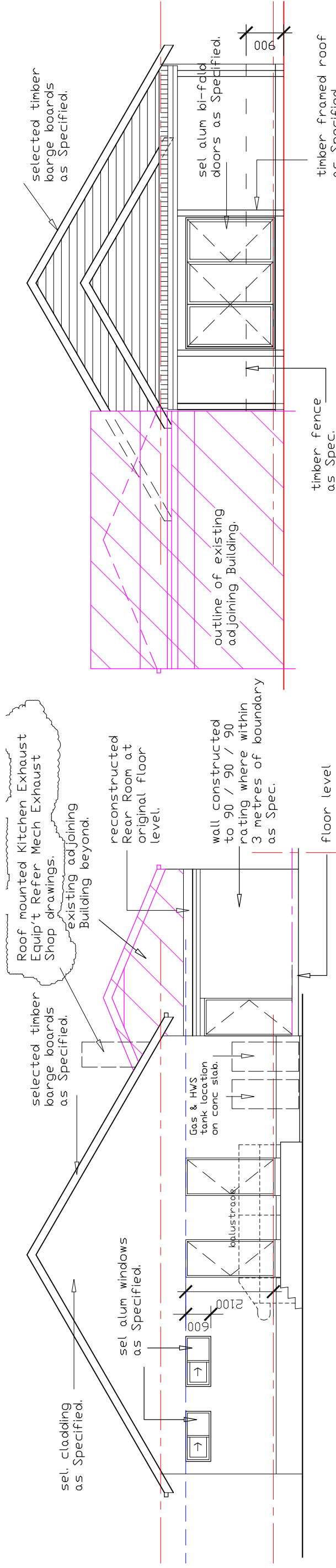
Proposed Rebuild of timber framed Building for reinstatement & use as Commercial Premises- Restaurant at 89-91 Argyle St Picton NSW.

Floor Plan & Notation.

**D R A K E D E S I G N S**  
Building & Design Consultants.  
Picton NSW Tel. 0407 939 181

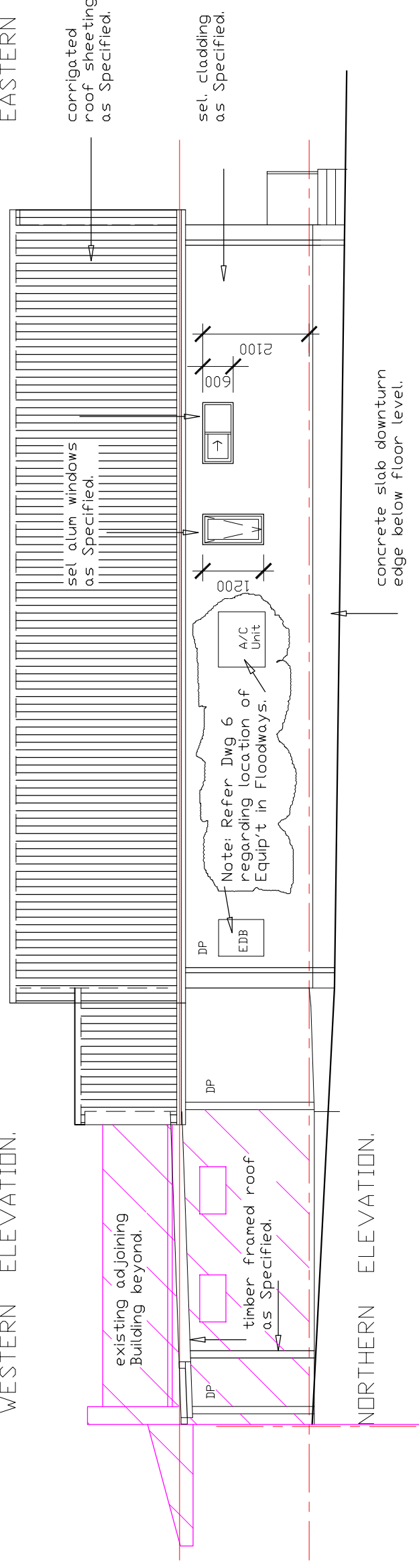
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Date: Jan 2017  
Scale: 1:100@A3.

Dwg No:  
**CC 02.C**

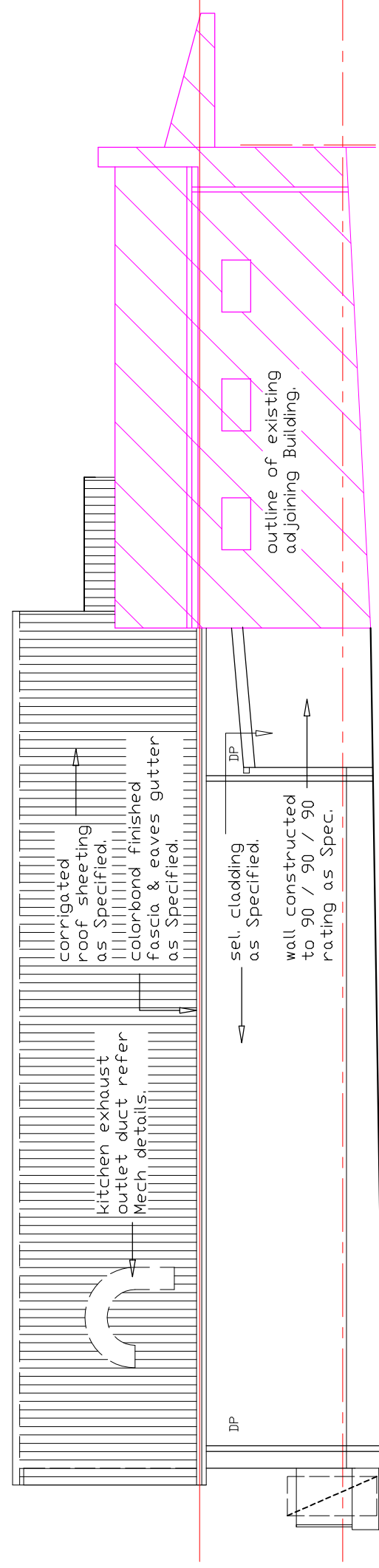


WESTERN ELEVATION.

EASTERN ELEVATION.



NORTHERN ELEVATION.



SOUTHERN ELEVATION.

Issue: 2.11.17 Council & Client.  
 Rev 'C' 2.11.17 Mech Vent & Flood Provision Notes added.  
 Issue: 18.7.17 Client & Submission for CC

REVISIONS.

Proposed Rebuild of timber framed Building for reinstatement & use as Commercial Premises- Restaurant at 89-91 Argyle St Picton NSW.

Sections

**D R A K E D E S I G N S**

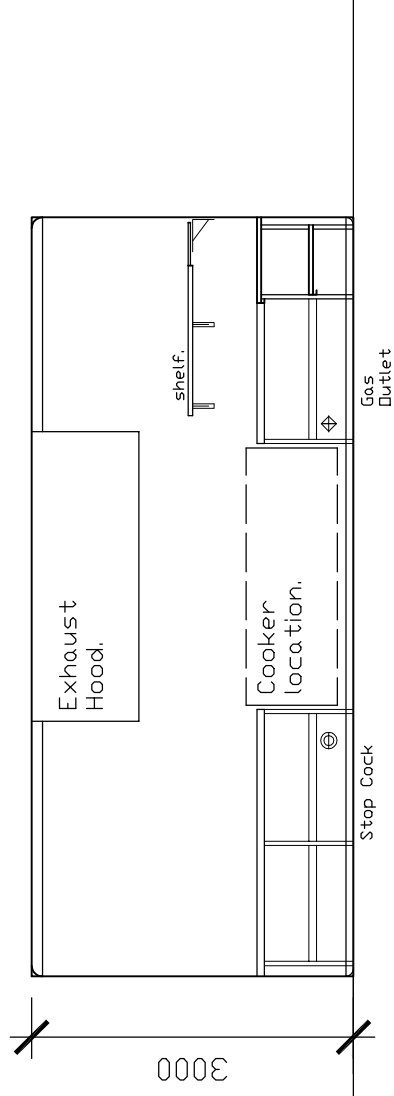
Building & Design Consultants,  
 Picton NSW Tel. 0407 939 181

Ref: 17 55 507  
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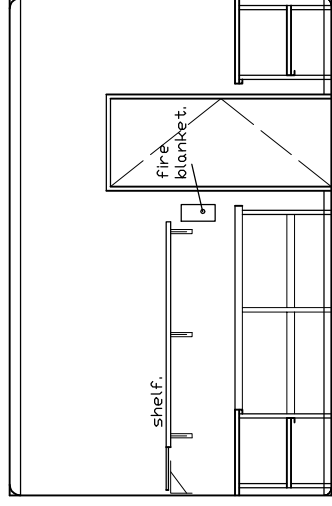
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CC 04.C

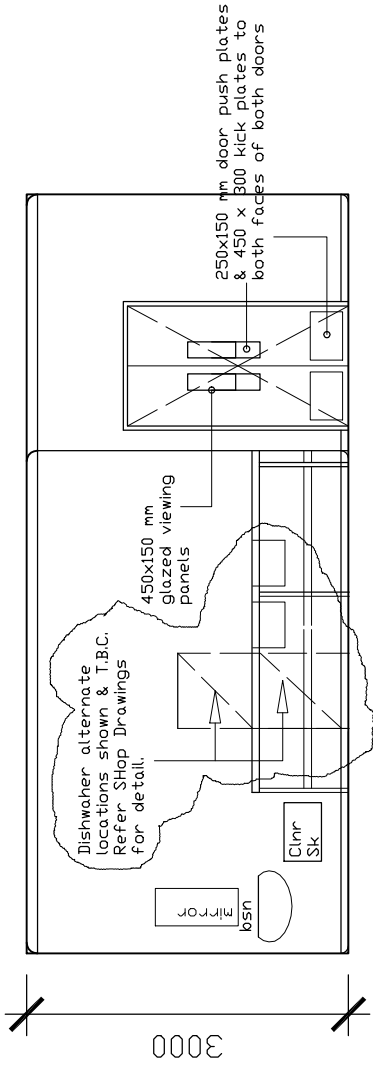




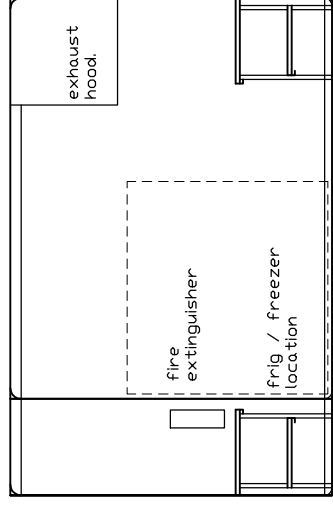
KITCHEN WALL ELEVATION A.



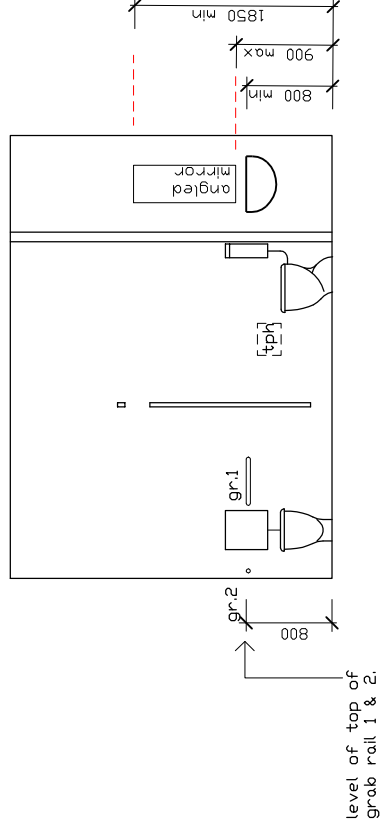
KITCHEN WALL ELEVATION B.



KITCHEN WALL ELEVATION C.



KITCHEN WALL ELEVATION D.



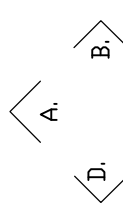
MALE TOILET WALL ELEVATION X.

OUTLINE FINISHES SCHEDULE

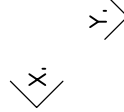
**KITCHEN:**  
 Floor: sel ceramic tiles with covered tiling about all wall surfaces & hobs or plinths a found.  
 Wall Tiles - full height floor to ceiling including behind of benches & equipment.  
 Equipment Fitout: Benches, shelves, equipment wall brackets, Exhaust Hood etc as Specified.

**NOTE:** Setout, Clearances & size etc of Kitchen Equipment to be confirmed.

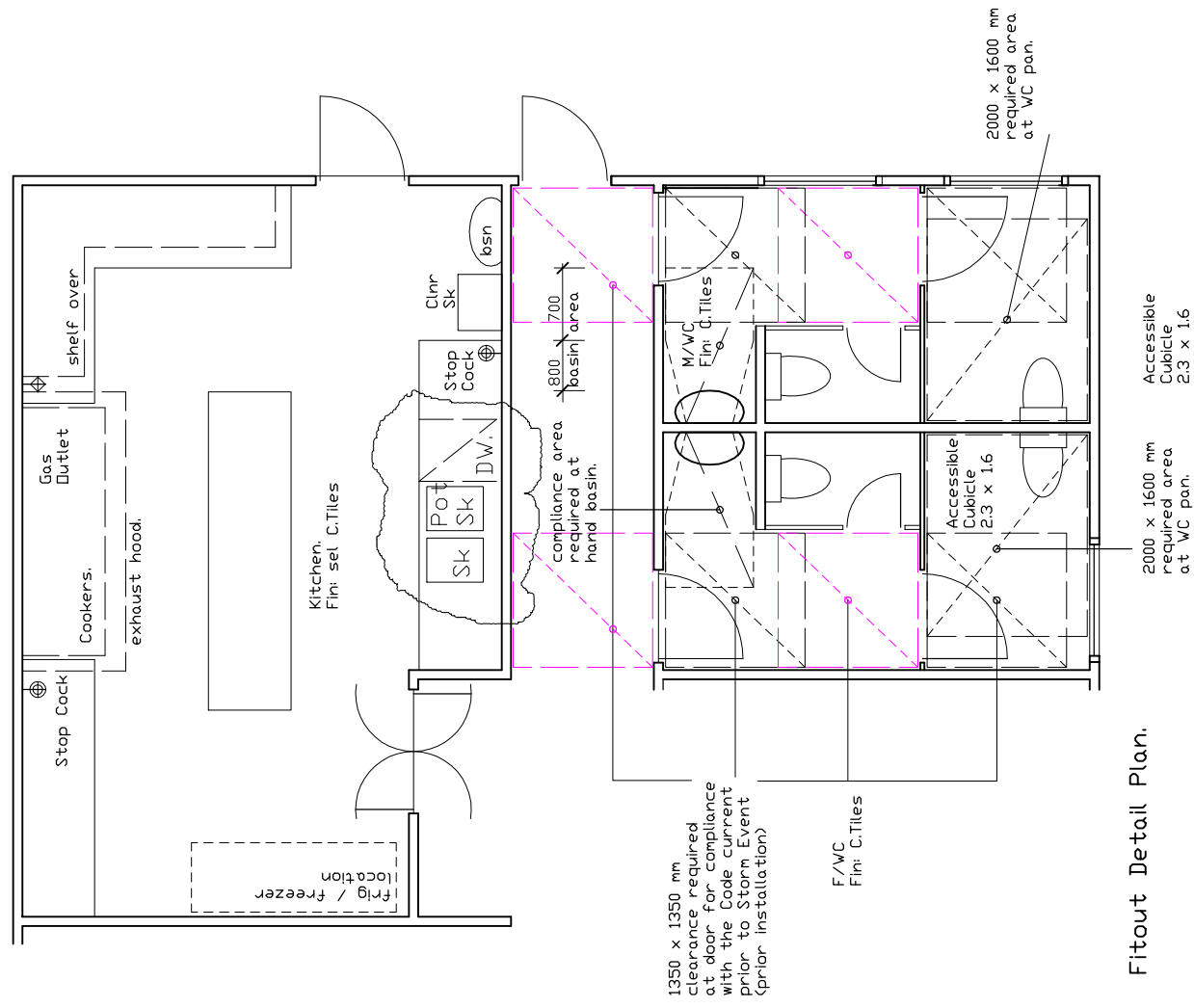
**MALE & FEMALE TOILETS:**  
 Floor: selected ceramic tiles with fall to floor waste.  
 Walls: Vitraboard as Specified.  
 Skirting tiles: all wall surfaces include stud partition between cubicle & basin area.  
 Basin Splashback - full width of recess by 450 mm high.  
 Cubicle Partitions as Specified.  
 Mirror & grab rails to AS 1428.1 & all as Specified.



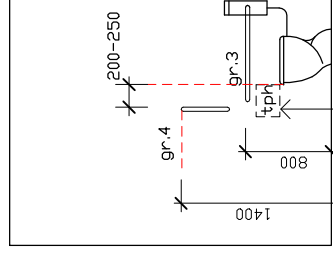
KITCHEN WALL ELEV. FORMAT.



TOILET WALL ELEV. FORMAT. Male Area in mirror image.



NOTE:  
 Female Toilet Elevations in mirror reverse.



MALE TOILET WALL ELEVATION Y.

Issue: 2.11.17 Council & Client.  
 Rev 'B' 2.11.17 Kitchen revisions.  
 Issue: 18.7.17 Client & Submission for CC

REVISIONS.

Proposed Rebuild of timber framed Building for reinstatement & use as Commercial Premises- Restaurant at 89-91 Argyle St Picton NSW.

Kitchen & Amenities Details

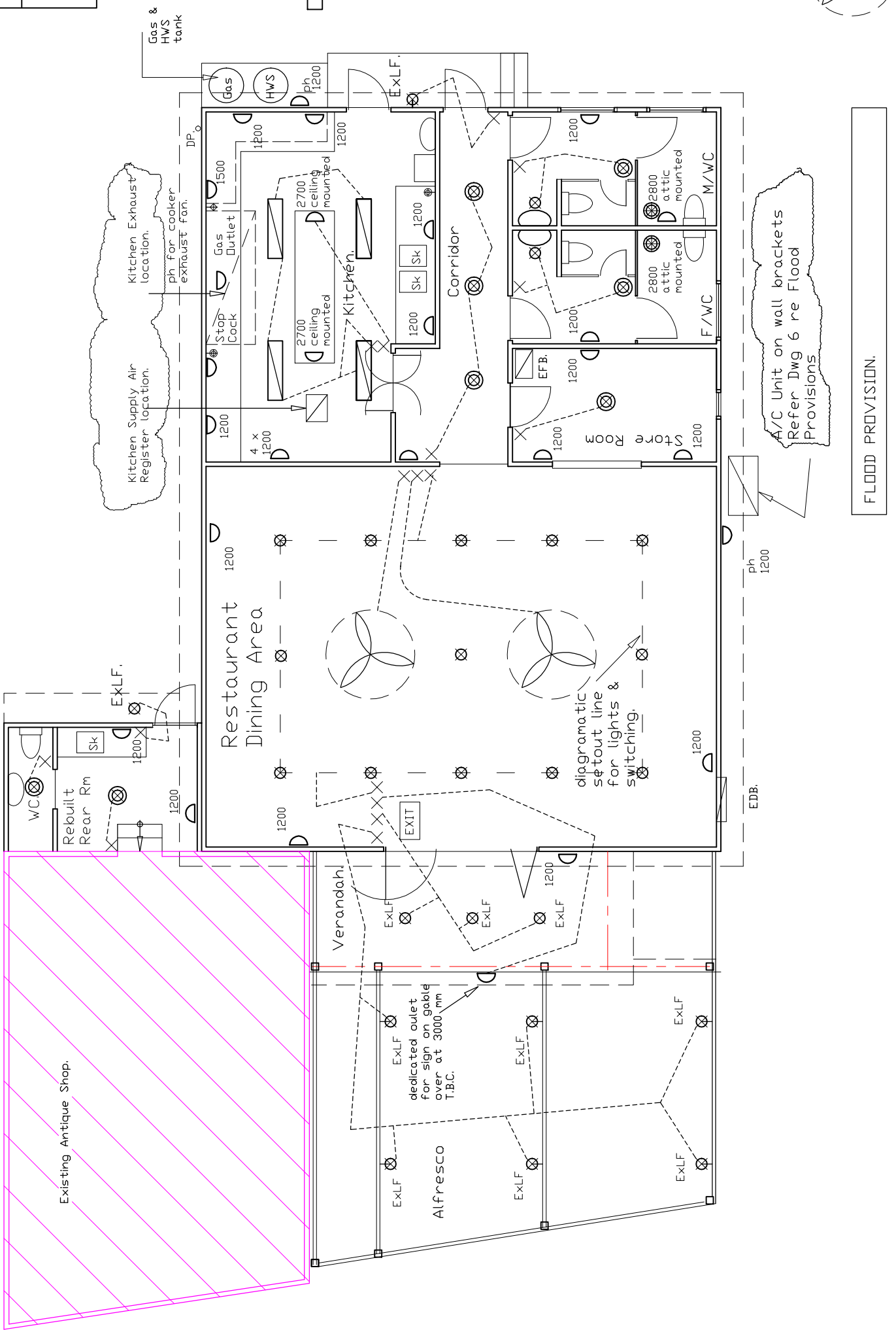
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 Picton NSW Tel. 0407 939 181

Ref: 17 55 507  
 Dwg No: Jan 2017  
 Date: 1:50 @ A3.  
 Scale: CC 06.B

**ELECTRICAL SCHEMATIC - LEGEND**

Refer to Specification for nominated Fittings & / or PC Allowances.

- ⊗ LF Light Fitting  
- wall mounted at 3600 mm.  
Number for identify location & selection.
- ⊙ LF Ceiling or soffit mounted Fitting. External; ExLF
- ⊗ LFR Light Fitting - recessed Downlight.
- ▭ F/FT Fluorescent Light Fitting surface mounted on ceiling. 1200 x 150, 2x18 watt prismatic diffuser.
- ⊗ ExLF External Light Fitting.
- ⊗ × Light Switch.
- ⊙ GPO (Power Point)  
All outlets to be doubles or as numbered, EG: 4 x.  
Mounted at 1200 mm above floor level unless noted otherwise. External quality where shown 'Ex'.
- ⊙ ph Dedicated Power Outlet number of Phases as required for Specified Fitting.
- ▭ EDB Electrical Distribution Board.
- ▭ EFB Fuse Board.
- EXIT EXIT LIGHT with Emergency Light as required by Code.
- ⊗ Exhf Exhaust Fan ceiling diffuser, exhausted to exterior.
- ⊙ Ceiling Fan with wall mounted contra(s)



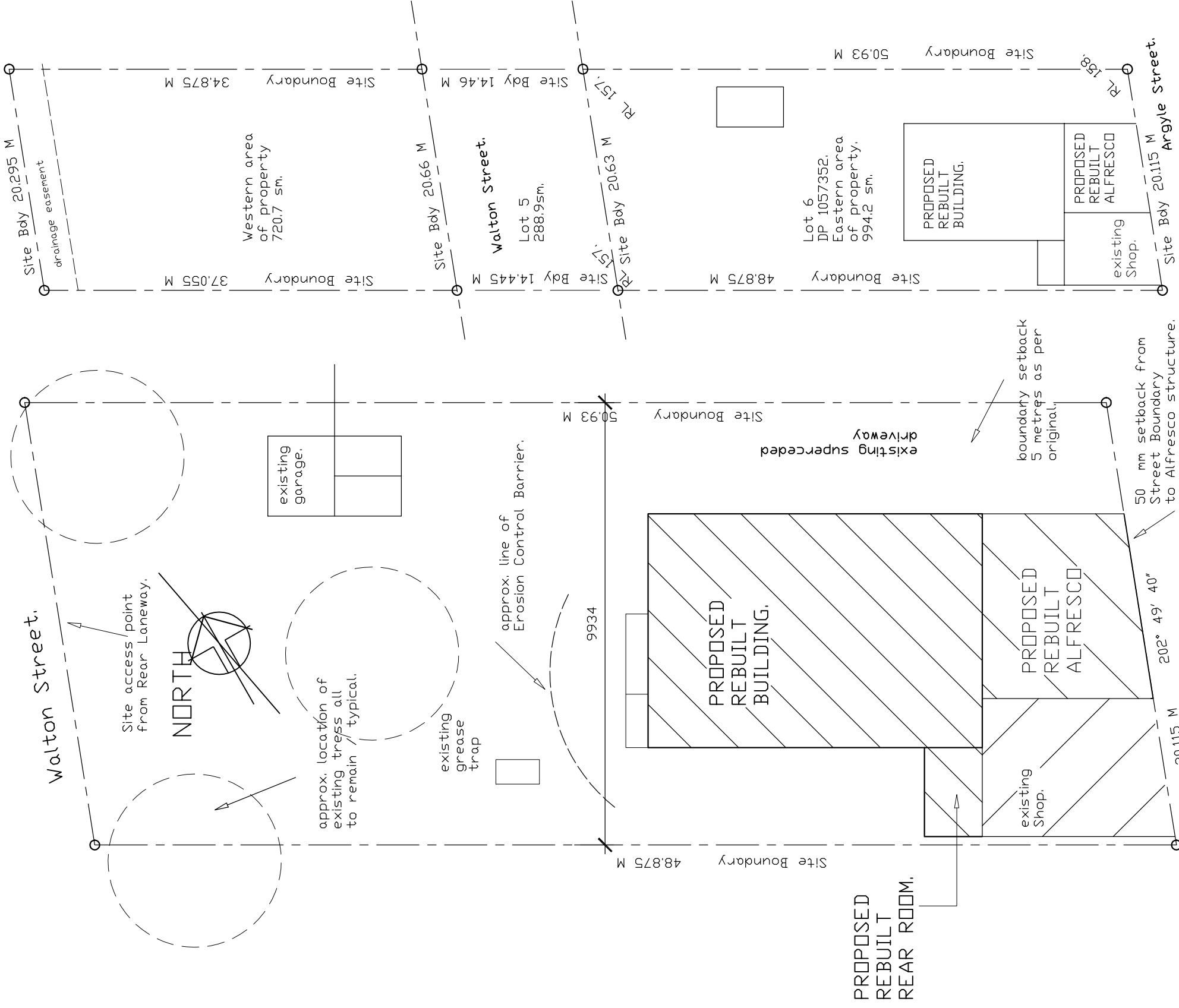
Proposed Rebuild of timber framed Building for reinstatement & use as Commercial Premises- Restaurant at 89-91 Argyle St Picton NSW.

Electrical Diagram

**D R A K E D E S I G N S**  
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Picton NSW Tel. 0407 939 181

Ref: 17 55 507  
Date: Jan 2017  
Scale: 1:100@A3.

Dwg No: CC 05,A



**PART SITE PLAN.**  
(construction area)

**SITE PLAN.**  
(overall property)

**Site Preparation.**  
Carefully excavate the areas for new work to form the platforms & trenches required. Grade platforms to negate surface water flowing onto the construction area. Likewise fall surrounding areas away from the building area & Site Boundaries, grade to erosion controls etc. Provide pumps, covers etc to maintain the work area in a dry state.

**Services.**  
Locate all Services prior to excavations and construction work. Any disturbance to a Service not required to be part of these works, shall be made good at no additional cost.

**Safety.**  
Provide all signs, lighting, barriers, hoarding, security fencing necessary & incidental to prevent any unauthorised entry to the building area.

**Compliances.**  
All work to comply with the requirements of the Building Code of Australia, The Light Timber Framing Code, the requirements of the Local Council and the Council approval Documents.

**LEGEND.**

- DP Down Pipe Location.
- SW Storm Water Pipe.
- SWP Stormwater Pit.
- SWP/G Stormwater Pit with Grate.
- ECB Erosion Control Barrier.

**Site Identification.**  
Lot 6, DP 1057352  
No: 89 -91 Argyle St.  
Picton NSW.

**Calculations.**  
Site Area: 1715 sm.  
Proposed Rebuilt Commercial Building: 158.71 sm.  
Proposed Alfresco: 66.5 sm.  
(Including Ver'dah)  
Proposed Rebuilt Rear Room: 10.4 sm.  
Existing Shop: 56.8 sm.

**Building Setout & Boundary Effects.**  
Refer to Surveyors drawing for Boundary setbacks. Dimensions shown on Site Plan are indicative only for Council approval. Confirm all dimensions on Site.

**Site Erosion Control.**  
Erect Erosion Control Barriers in the form of Swales, Barriers Berms, Diversion Drains, Holding Ponds etc. Maintain Controls throughout the building period. Barriers to be of Geofabric or Hay Bales secured with Star Stacks or approved metal spikes.

Proposed Rebuild of timber framed Building for reinstatement & use as Commercial Premises- Restaurant at 89-91 Argyle St Picton NSW.

Site Plan & Notations.

**D R A K E D E S I G N S**  
Building & Design Consultants.  
Picton NSW Tel. 0407 939 181

Ref: 17 55 507  
Date: Jan 2017  
Scale: 1:100@A3.

Dwg No:  
**CC 01,B**

Issue: 7.11.17 - Client & for Council.  
Revision: 'B' - 7.11.17 Overall Site Plan added.  
Issue: 20.9.17 - Council for DA & Client (JP)  
Revision: A 20.9.17 Trees & garage added.  
Issue: 18.7.17 Client & Submission for CC

REVISIONS.

Studio 34 P/L t/s.

**DRAKE DESIGNS**

**Building and Design Consultants**

104 Kent Road Picton NSW 2571. Email: geoffrey@drakedesigns.com.au

Tel. 4681 9950 Mob: 0407 939 181

**TRANSMITTAL**

Ref No: 17 55 507

**Wollondilly Shire Council.**

62 – 64 Menangle St. Picton.

Date: **9 / 11 / 17**

E: natalie.knapp@wollondilly.nsw.gov.au

Attention: Ms Natalie Knapp.

**Re: Proposed Re-construction of Timber Framed Commercial Building.  
at 89 – 91 Argyle Street Picton. 2581 NSW**  
Application No: DD 010 2017 216.

**Economic Analysis Report**

Estimate of losses / costs due to flooding 'just over floor level': zero.

Estimate of losses / costs due to flooding of 600 mm over floor level: \$40,000

Estimate for average loss / cost over 100 years would be calculated as follows:

Zero + \$40,000 / 2 = \$ 20,000 X 80 (times in 100 years) = \$1,600,000.

Therefore \$1,600,000 / 100 = \$ 16,000 average per year.

Issued for your reference.

Yours Sincerely

**Geoffrey. L. Drake**

Director, Studio 34 Pty. Ltd.

trading as Drake Designs.

CC: [jpavn@johnslyng.com.au](mailto:jpavn@johnslyng.com.au)

Design Style Proportion Efficient - Design Style Proportion Efficient - Design Style Proportion Efficient - Design Style Proportion Efficient

# GR2 Attachments

1. Plans submitted with modification application.

**Monday 11 December 2017**

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GR2 – Applications to Modify Development Consent No. 010.2005.00051506.005 and No. 010.2005.00051506.006 for a Seniors' Living Development to provide an Additional 3 Self Care Units, Managers' Residence, Maintenance Shed, Wellness Centre, Men's Shed, and to Relocate Approved Swimming Pool



**Prestige Residential Design**

**Bluegum Lifestyle Resort**

**Lot: 1 DP: 1227417  
10-30 Brundah Rd,  
Thirlmere 2572 NSW**

**S96AA Modification of ID532-05**

<b>Sheet List</b>	
Sheet Number	Sheet Name
01	Cover Sheet
02	Revised Site Plan
03	Type A Modified Floor Plan
04	Type A Modified Elevations
05	Type A Modified Sections
06	Type A Landscape Plan
07	Managers Residence Floor Plan
08	Managers Residence Elevations
09	Managers Residence Elevations
10	Managers Residence Basix Notes
11	Maintenance Shed Floor Plan
12	Maintenance Shed Elevations and Sections
13	Wellness Centre Floor Plan
14	Wellness Centre Elevations and Sections
15	Mens Shed Floor Plan
16	Mens Shed Elevations
17	Pool Plan
Attachment 1	Basix - 18 Kookaburra Rd, Thirlmere
Attachment 2	Basix 21 Koala lane & 13 Kookaburra Rd, Thirlmere
Attachment 3	Basix - Managers Residence
Attachment 4	Access Report

**Total - 17 Pages**





Taylah Doosey  
0437350233  
taylah.doosey@gmail.com

**Client**  
Name: Bluegum Lifestyle  
Resort

**Site**  
Project Address:  
Lot: 1 DP: 1227417  
10 - 30 Brundah Rd,  
Thirlmere 2572 NSW

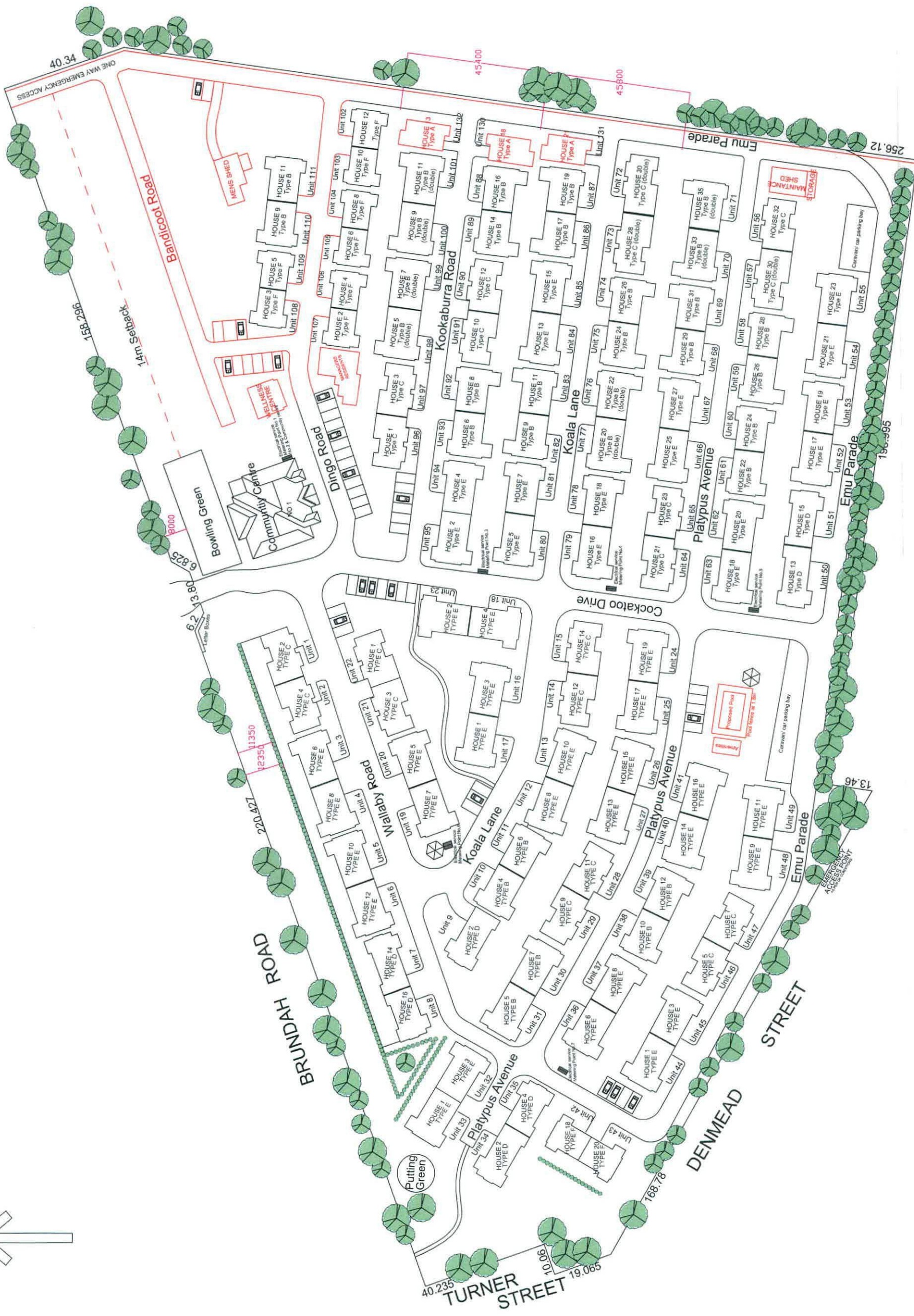
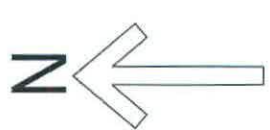
- Notes:**
1. All construction to comply with BCA & AS (australian standards)
  2. Windows sizes are nominal and from Stegbar window schedule
  3. DO NOT SCALE OFF DRAWING
  4. Levels shown are approx only and should be confirmed onsite prior to construction.
  5. All dimensions to be checked by builder/owner prior to ANY construction.
  6. Weatherstrips to all external windows & doors.

No	Description	Date
1	Amended	13/9/17

**PROPOSED SITE  
PLAN BLUEGUM  
LIFESTYLE RESORT**

Date: 28/08/2017  
Scale: 1:600

A1-01



PROPOSED SITE PLAN FOR S96AA MODIFICATION OF ID532-05

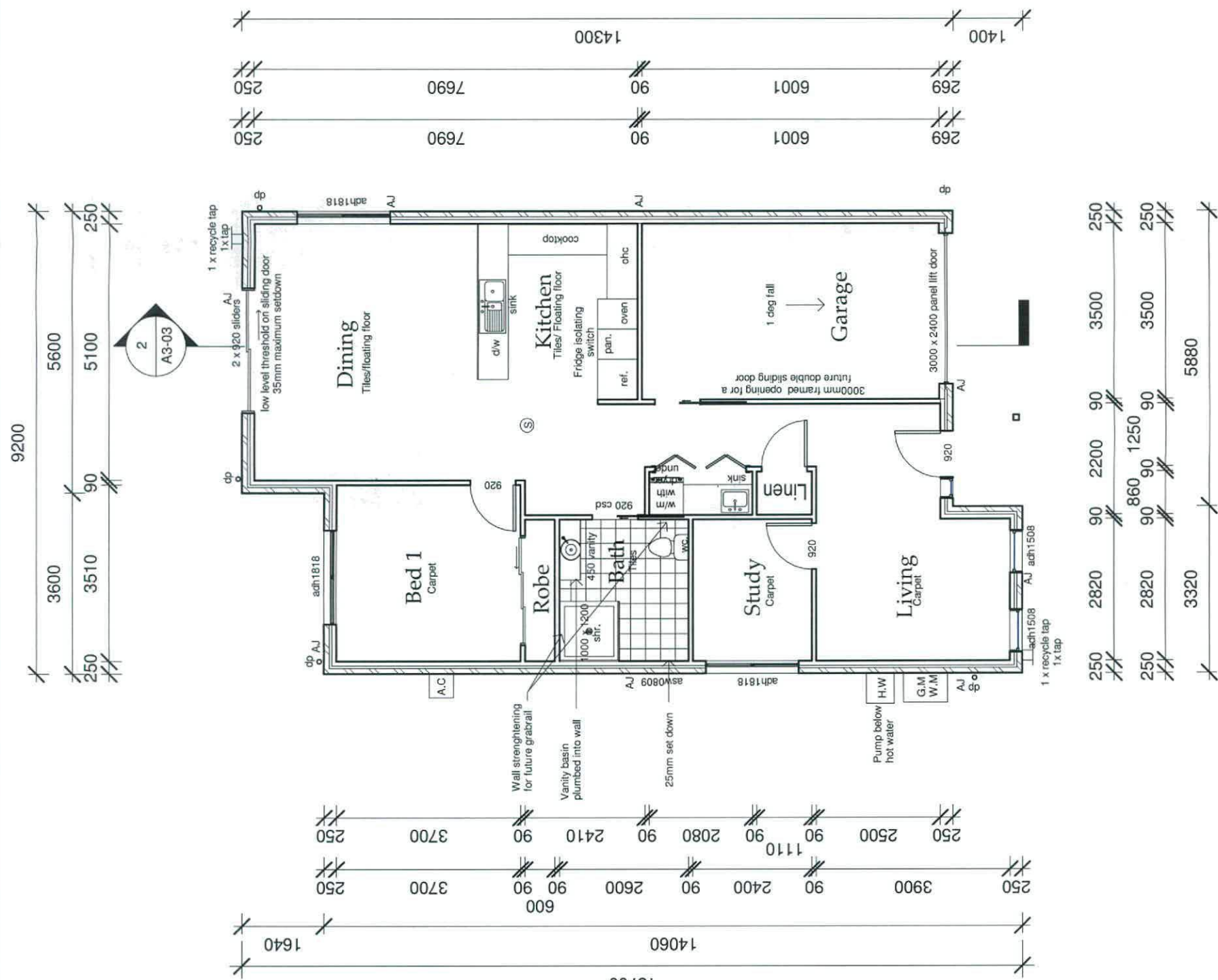


**NOTES**

- R 2.5 walls
- R3.5 walls
- Sarking to roof
- Builders blanket to roof
- AJ on all internals
- All frames to be "T2" treated

**Schedule 3 SEPP Seniors Living**

- 920 entry door(s) with lever handle 1000-1100mm AFFL
- 920 internal doors with lever handles 1000-1100mm AFFL
- Provide wet area setdowns to facilitate level transition where changes in internal flooring and a hobless shower.
- Slip resistant flooring to bathrooms, kitchen, idry and outdoor areas
- low level threshold on the sliding door track to outdoor area.
- Garage shall provide 3500mm minimum width, 2200mm min door height x 2500mm min internal height on a generally level surface with 35mm max setdown at the internal door. The internal wall shall include a 3000mm width framed opening with a 2000 x 75mm header to enable a double sliding door a future stage for side access vehicle transfer.
- Lever taps throughout
- Wall adjacent the bathroom toilet, shower and bathtub shall be strengthened to enable future grabrails installations. E.g. stud walls include 12mm ply sheeting or extra noggings at appropriate locations for future grabrails.
- Bathroom shall be provided with an opal 400 toilet to enable adaptation.
- Vanity basin plumbing plumbed into the wall not the floor.
- Kitchen shall provide wall oven, cooktop and 800mm length workbench adjacent that can be adjusted in height at a later date if required by an occupant.
- Light switches 1000-1100mm AFFL
- Double GPO's 600-1100mm AFFL with top down cabling for adaption.
- Fridge GPO or two-way isolating switch to be in reachable position (900-1100AFFL) when fridge is in-situ.
- Double GPO adjoining the 800mm length workbench within 300mm of the front bench
- Lighting circuit to provide the potential to achieve 300 LUX in all rooms.
- Switchboard 1250mm max height to switches.



Area-	92m <sup>2</sup>
Living:	21m <sup>2</sup>
Garage:	130m <sup>2</sup>
Total:	

- LEGEND**
- NG - Natural Gas
  - Ⓢ - Smoke Alarm
  - GM - Gas meter
  - DP - Down pipe
  - WM - Water meter
  - AC - Air conditioning

<b>Type A Modified Floor Plan</b>	
A3	
Date: 04/09/2017	Scale: 1 : 100

<b>TYPE A - MACARTHUR</b>
10-30 Brundah Rd, Thirlmere
Bluegum Lifestyle Resort L.G.A:Wollondilly Shire Council

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DO NOT SCALE OFF DRAWINGS

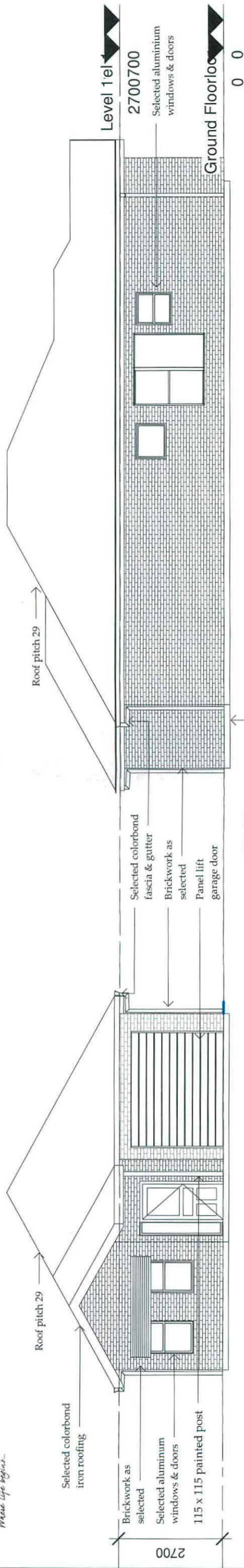
<b>No</b>	<b>Date</b>	<b>Description</b>
1	13/09/17	Amended

**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

**Notes:**

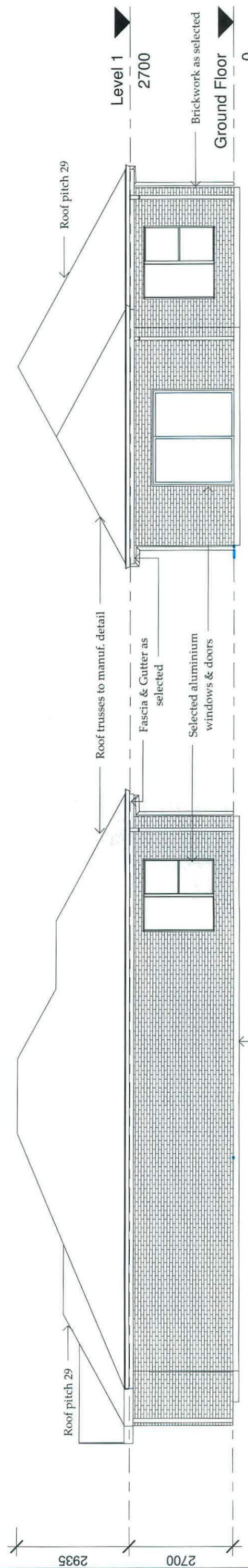
- All construction to comply with BCA & AS (australian standards)
- Windows sizes are nominal and from Stegbar window schedule
- Levels shown are approx only and should be confirmed onsite prior to construction.
- All dimensions to be checked by builder/owner prior to ANY construction.
- Weatherstrips to all external windows & doors.





**3** Front  
1 : 100

**2** Side 2  
1 : 100



**1** Side  
1 : 100

**4** Back  
1 : 100

No	Date	Description
1	13/09/17	Amended

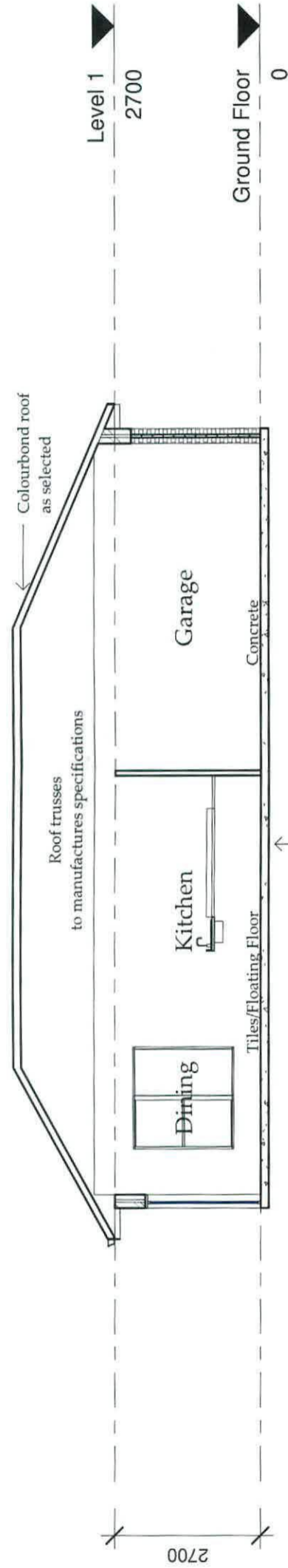
Notes:  
 1. All construction to comply with BCA & AS (australian standards)  
 2. Windows sizes are nominal and from Stieglar window schedule prior to construction.  
 3. Levels shown are approx only and should be confirmed onsite  
 4. All dimensions to be checked by builder/owner prior to ANY construction.  
 5. Weatherstrips to all external windows & doors.

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**TYPE A - MACARTHUR**  
 10-30 Brundah Rd, Thirlmere  
 Bluegum Lifestyle Resort  
 L.G.A:Wollondilly Shire Council

**Type A Modified Elevations**  
 A3  
 Date: 04/09/2017  
 Scale: 1 : 100





**Section 1**  
2 1 : 100

**Prestige Residential Design**  
Taylah Doosey  
0437350233  
taylah.doosey@gmail.com

No	Date	Description
1	13/09/17	Ammended

Notes:  
 1. All construction to comply with BCA & AS (australian standards)  
 2. Windows sizes are nominal and from Stegbar window schedule  
 3. Levels shown are approx only and should be confirmed onsite prior to construction.  
 4. All dimensions to be checked by builder/owner prior to ANY construction.  
 5. Weatherstrips to all external windows & doors.

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**TYPE A - MACARTHUR**  
 10-30 Brundah Rd, Thirimere  
 Bluegum Lifestyle Resort  
 L.G.A:Wollondilly Shire Council

**Type A Modified Sections**  
 A3  
 Date: 04/09/2017  
 Scale: 1 : 100



**DETAILS**

**LAWN AREAS**

Outlets to a depth of 100mm, so that soil can be worked freely. Apply gypsum at manufacturer's rates to add in de-compaction of silts and breakdown of clay colloids. Spread 50mm layer of sandy loam topsoil blend. Rake over to form a smooth, even surface ready for lawn installation. Lay turf in all areas to be **Buffalo**. Lay with staggered and close-butted joints along contours, to prepared surface. Water immediately, top dress once established. Refer to Lawn detail.

**MULCH**

Mulch shall be ANL Re-mulch; which is best suited to the plant type and clients needs. Variation from this can only be made with consultation with the project manager. Mulch shall be free of soil, weed growth or any other foreign matter. Spread mulch evenly to a depth of 75mm over all garden beds. Rake over mulch surface to create an even finish.

**GRAVEL**

Gravel to be placed in designated areas as shown on plan. Install 20mm Nepean River Pebble at 100mm Maximum depth. Refer to Hardscapes Details.

**Lawns. Repair lawns in all failed areas.**

Disease and Pest Control. If pathological disease or insect pests appear, they are to be controlled using organic methods or pest and disease control. Felling this, chemical sprays may be used, at manufacturer's rates, with prior consent of client.

Replacement. Defects including any dead or unhealthy plant must be replaced or treated within 3 weeks. Missing, dead or unhealthy plants are to be replaced with plants of similar size and quality and identical species/variety, unless a substitution has been approved by Council.

Any Pruning must be carried out to meet Australian Standards AS4373 'Pruning of Amenity Trees' and shall comply with Councils Tree Preservation Order.

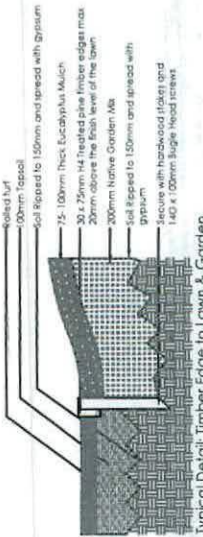
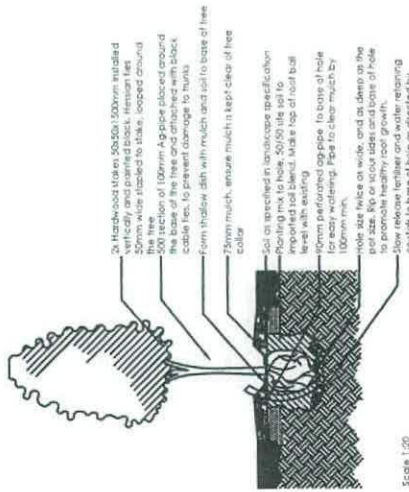
Making Good. The contractor shall make good erosion of soil or subsidence which may occur, at no contract variation.

**PROTECTION OF EXISTING TREES**

Existing trees are to be protected and maintained during the course of construction. The contractor is to abide by council regulations relating to any trees on the site. All trees to be retained require high fully supported chainmesh to minimise disturbance to existing ground conditions within the canopy drip line for the duration of construction works. 'Tree Protection Zone' is to be attached to the protective fence.

**GARDEN BEDS**

Cultivate to a depth of 200mm so that soil can be worked freely. Apply gypsum at manufacturer's rates to add in de-compaction of silts and breakdown of clay colloids. Spread premium blend garden bed mix to a depth of 200mm, when settled. Back filling shall be tapered progressively to match existing soil compaction, to avoid later subsidence. Mound all garden beds to centre. Allow for depth of mulch to fill bed and water when installing soil mix. Refer to Garden Bed Preparation Detail.



Typical Detail - Timber Edge to Lawn & Garden  
Scale 1:10

**MAINTENANCE SCHEDULE**

The consolidation program shall include, but not limited to, the following items:

**Routine Maintenance. Provide routine maintenance for a period of six months after practical completion.**  
Program to include but not limited to plant establishment, watering, mowing, fertilising, pest and disease control and generally maintaining the site in a neat and tidy condition.

**Watering:** Watering of plants and turf should be done in conjunction with current Sydney Water watering restrictions.

**Fertilising:** Apply an appropriate lawn fertiliser in accordance with manufacturer's instructions after 6 weeks of installation. Fertiliser to be adequately watered and evenly dispersed for healthy even lawn growth.  
Mulch of garden beds must adhere to Australian Standard AS4454.

**PLANTS**

All plants which have been declared, pursuant to section 7 & 8 of the Noxious Weed Act 1993, to be Noxious Weeds within the area of **Quana Municipality Council** shall be removed on site and replaced with appropriate indigenous or native species.

All labels are to remain on plants and delivery receipts or copies of plant purchases, stating the species, amount, and container size of plants, shall be made available to Council's Construction Services or Private Contractor to facilitate certification that the landscape plan and conditions of consent have been implemented.

**STREET NUMBER**

A street number is to be placed on a site in a readily visible location, (numbers having a height of not less than 75mm) prior to occupation of the building.

**METAL POOL TYPE FENCE FENCE & GATE**

To manufacturer specification. Refer architectural for colour selection.

**PLANTING SCHEDULE**

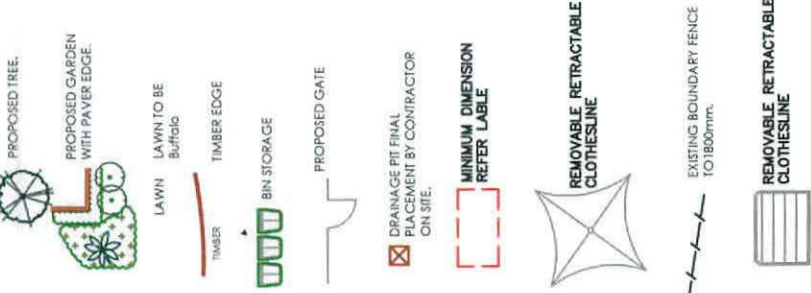
**Stubs and ground covers**

Bj - *Banksia japonica*  
Gz - *Gazania sp.*  
Jp - *Juniperus spartan*  
Ga - *Gazania sp.*  
Plb - *Poa labillardieri*  
Epp - *Eucalyptus "pink globe"*  
Of - *Oxalis*  
Tj - *Trachypogon florida*  
Dg - *Duonia "gold star"*  
Ru - *Raphiolepis umbellata*  
Ra - *Rosa standard "Iceberg"*

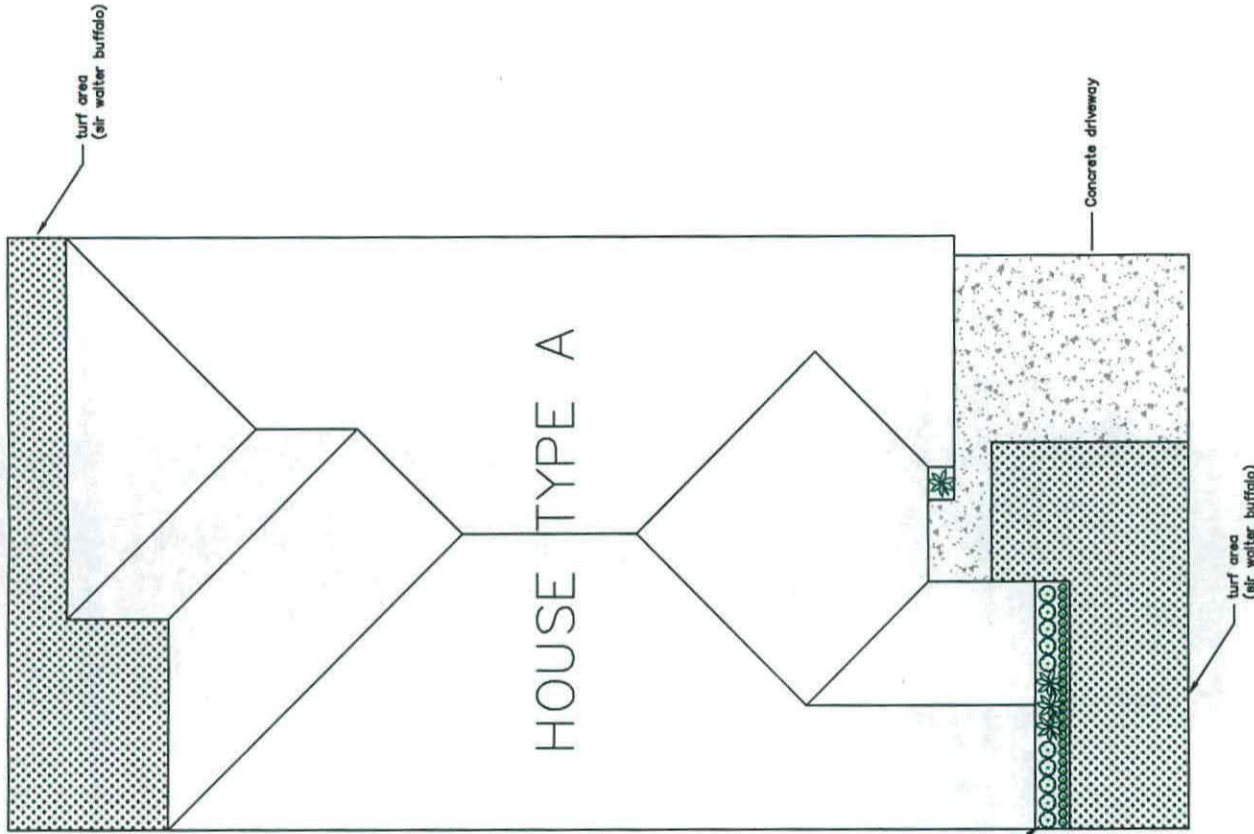
Screen Plants  
Pg - *Phacelia glabra rubrens*  
Mg - *Murraya paniculata*  
Sa - *Syzygium "hush christmas"*  
Mp - *Murraya paniculata*

Feature Trees  
L - *Lonicera indica*  
Fr - *Fragaria rostrata*  
Mg - *Maconia "little gem"*  
Rnt - *Robinia "maple"*  
Pc - *Prunus spp. "flower cherry"*  
Wa - *Waterhousea spp.*  
De - *doryanctus excelsa*

**LEGEND**



**FOR DEVELOPMENT APPLICATION ONLY**  
**SITE PLAN**



**GENERAL NOTES:**  
This drawings are to be used in conjunction with prepared specifications & details.  
It is the responsibility of the contractor to verify Nicescapes of any construction works with the plans & ensure appropriate direction prior to construction works.  
Final layout is to be determined on site and all the dimensions of the site are to be used in accordance with current Water Restrictions.  
Special ATC, Removable or similar to all garden beds at a minimum depth of 100mm.  
Landscape plans are copyright to Nicescapes Pty Ltd.

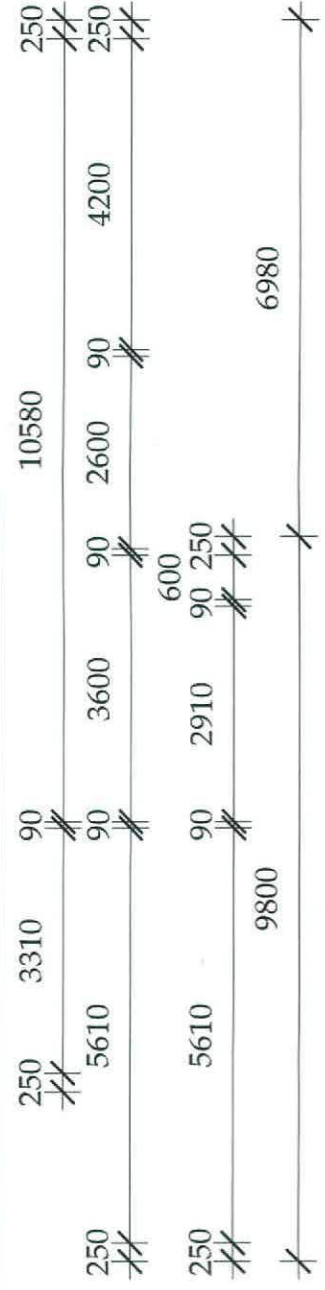
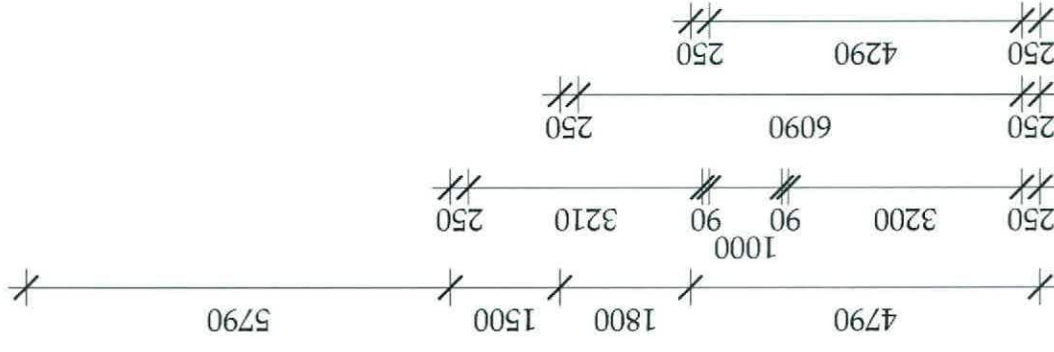
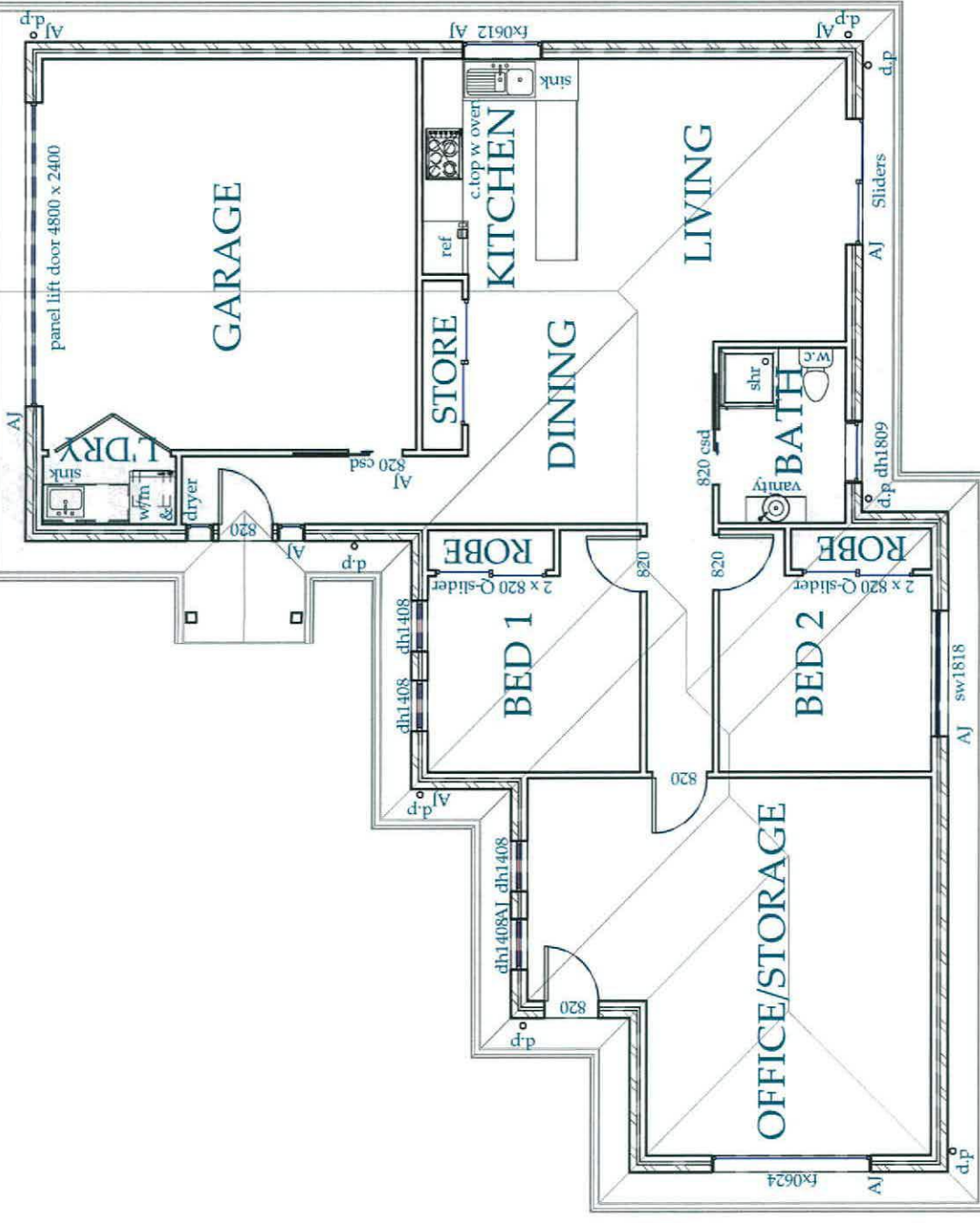
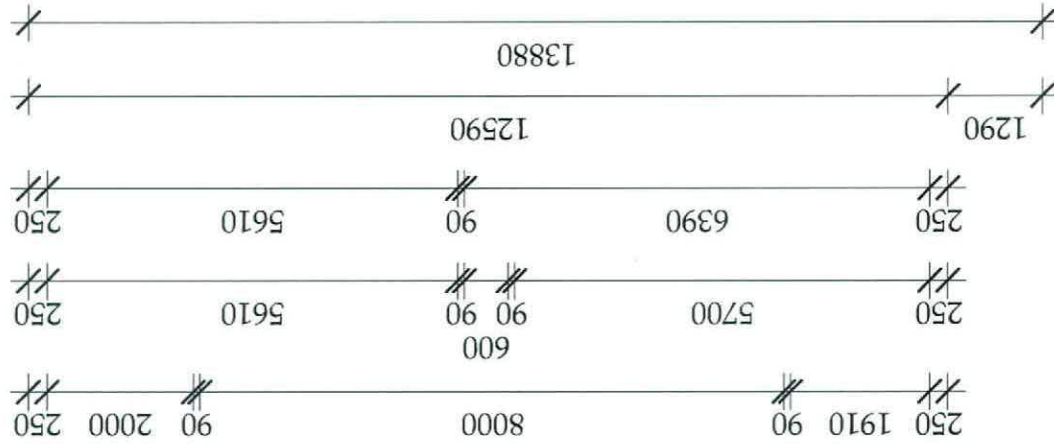
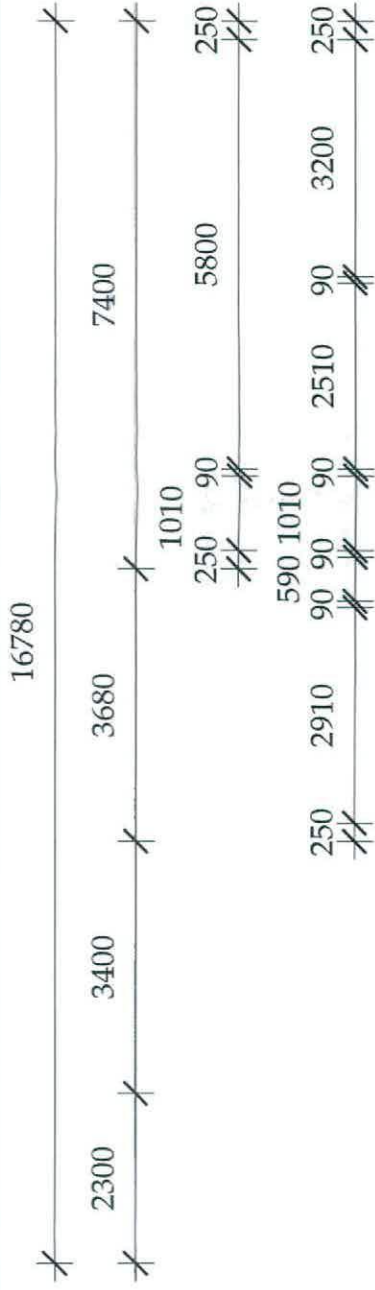
<b>LANDSCAPE PLAN</b>	
Product # 01_09	OWN: NICESCAPES
REV DATE: 29/08/17	REV: 0109.10
REV DATE: 29/08/17	REV: 0109.10
SCALE: 1:100	TYPE: A
DATE: 29/08/17	NO. OF SHEETS: 1
DRAWN BY: TD	SHEET # 1 OF 1
CHECKED BY: MID	

**RESIDENTIAL DEVELOPMENT**  
**TYPE A**

**Bluecum Lifestyle Resort**  
**NICESCAPES**

Nicescapes Pty Ltd  
28 Avenue of Progress, Warburton, VIC 3799  
PH: 0346771641 FAX: 03 46729233 www.nicescapes.com.au





Area-	
Ground Floor:	124m <sup>2</sup>
Garage:	33m <sup>2</sup>
Total -	157m <sup>2</sup>

**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description

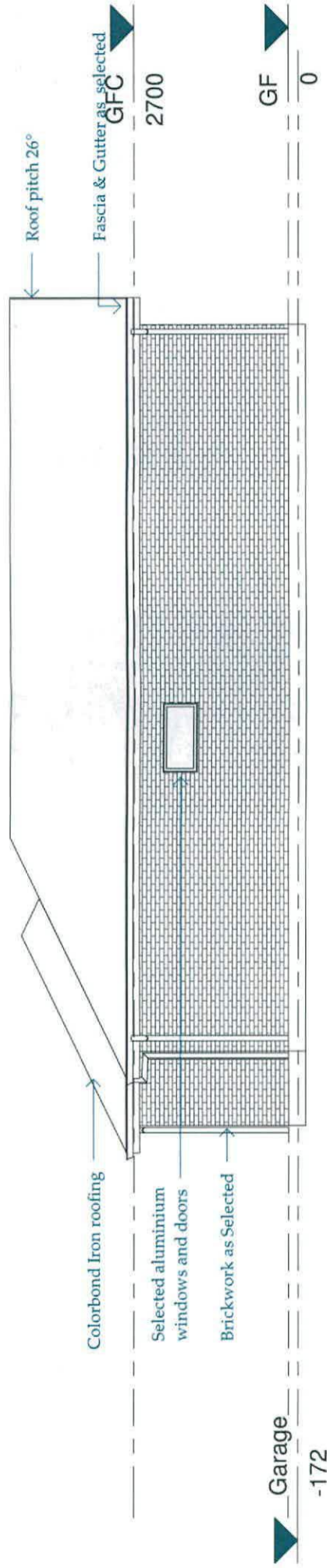
Notes:  
 1. All construction to comply with BCA & AS (australian standards)  
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 5. Weatherstrips to all external windows & doors.

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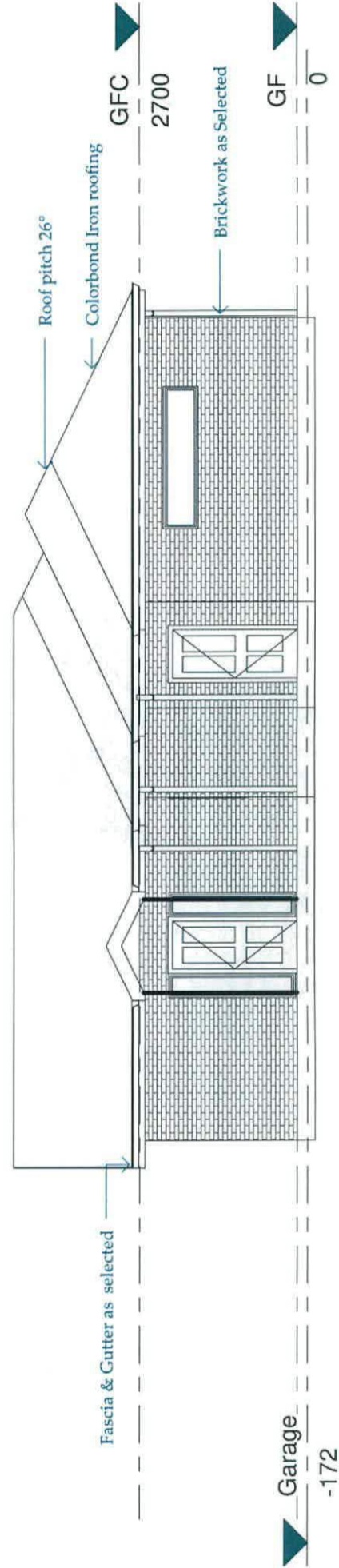
**Manager Residence**  
 10 - 30 Brundah Rd, Tahmoor  
 Bluegum Lifestyle Resort  
 L.G.A.:Wollondilly Shire Council

<b>Ground Floor Plan</b>	
Date: 04/08/2017	Scale: 1 : 100
A3	





East



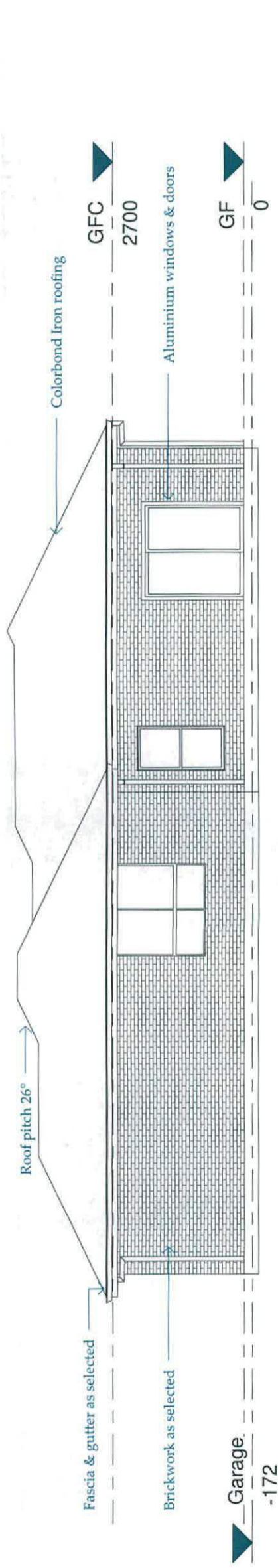
West



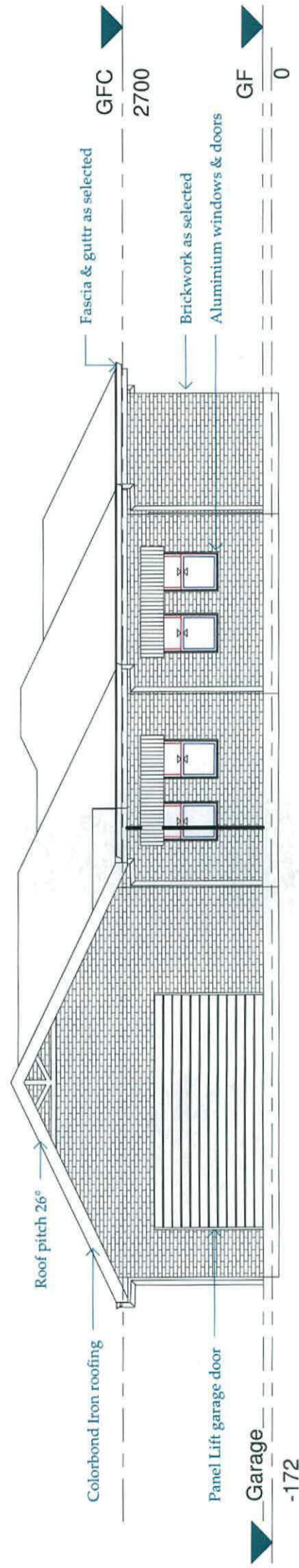
**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description
		Notes: 1. All construction to comply with BCA & AS (australian standards) 2. Windows sizes are nominal and from Stegbar window schedule prior to construction. 3. Levels shown are approx only and should be confirmed onsite prior to construction. 4. All dimensions to be checked by builder/owner prior to ANY construction. 5. Weatherstrips to all external windows & doors.
		© Prestige Residential Design Reproduction forbidden DO NOT SCALE OFF DRAWINGS
		Manager Residence 10 - 30 Brundah Rd, Tahmoor Bluegum Lifestyle Resort L.G.A:Wollondilly Shire Council
		Elevations A3 Date: 04/08/2017 Scale: 1 : 100





**South**



**North**



**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description

Notes:  
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**Manager Residence**  
 10 - 30 Brundah Rd, Tahmoor  
 Bluegum Lifestyle Resort  
 L.G.A:Wollondilly Shire Council

Elevations	
Date: 01/08/2017	Scale: 1 : 100
A3	



# Manager Residence- Bluegum

## Lifestyle Resort

### Certificate - #722045S

Water commitments

**Landscape**

Total garden lawn area 30m<sup>2</sup>

**Fixtures**

3 Star Shower Heads; > 6 < = 7.5L/min

3 Star toilets

3 Star Taps to bath, ens, kit, ldry

**Alternative Water**

5,000 ltr Rainwater tank that collects atleast 100m<sup>2</sup> of run off from roof, connect to ldry, toilet and garden tap.

Thermal Comfort

**Consturction.**

Floor - concrete slab on ground

External wall - brick veneer

Internal wall shared with garage - plasterboard

Ceiling and roof - flat ceiling/pitched roof

**Insulation required.**

nil

1.66 (or 2.20 including construction)

nil

ceiling: 3 (up), roof: foil/sarking

**Other.**

Unventilated; medium (solar absorbance 0.475 - 0.70)

Windows, glazed doors and skylights

**Window/glazed door no.**

W1 E

W2 S

W3 S

W4 S

W5 N

W6 N

W7 N

W8 N

W9 N

**Orientation.**

**Maximum area.**

0.72

1.62

1.62

3.24

1.12

1.12

1.12

1.12

1.08

**Type.**

standard aluminium, single clear (or U-value: 7.63, SHGC:0.75)

standard aluminium, single clear (or U-value: 7.63, SHGC:0.75)

standard aluminium, single clear (or U-value: 7.63, SHGC:0.75)

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standard aluminium, single clear (or U-value: 7.63, SHGC:0.75)

**Shading.**

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergola/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

Eave/verandah/ pergold/balcony 450mm

**Overshadowing.**

not overshadowed

not overshadowed

not overshadowed

not overshadowed

not overshadowed

not overshadowed

not overshadowed

not overshadowed

not overshadowed

Energy commitments

**Hot water**

4 Star gas instant hot water system

**Cooling system**

No cooling systems in living areas or bedrooms

**Heating system**

No heating system in living areas or bedrooms

**Ventilation**

Bathroom - Individual fan ducted

Kitchen - Individual fan ducted

Laundry - Natural ventilation only

**Natural lighting**

Window and/or skylight to kitchen

Window and/or skylight to bathrooms/toilets

**Other**

Gas cooktop & Electric oven in kitchen

Well ventilaed refrigerator space in development

Fixed outdoor clothes line in development



**Prestige Residential Design**

Taylah Doosey

0437350233

taylah.doosey@gmail.com

**Notes:**

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**Description**

**Date**

**No**


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Manager Residence

10 - 30 Brundah Rd, Tahmoor

Bluegum Lifestyle Resort

L.G.A:Wollondilly Shire Council

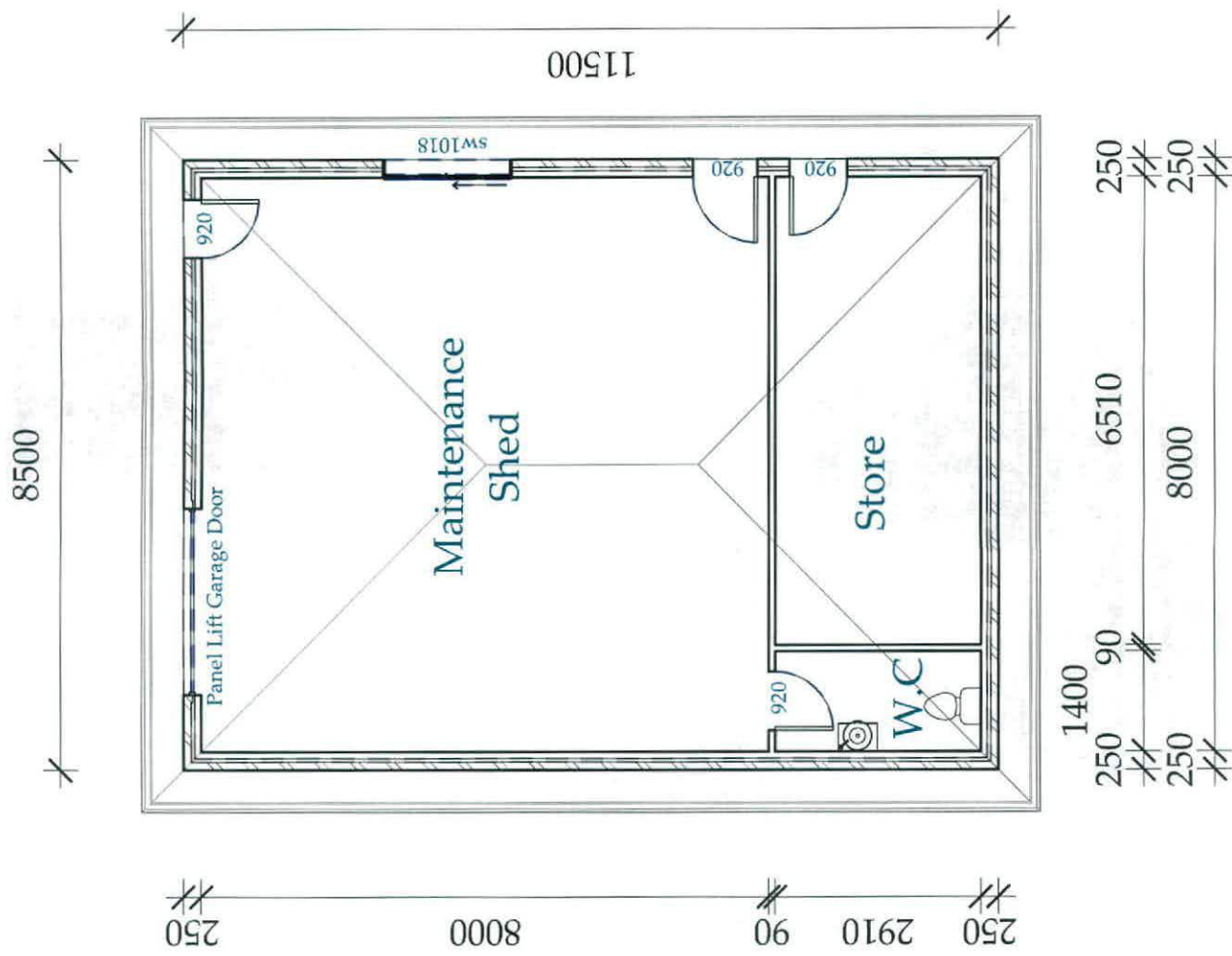
Basix

A3

Date: 01/08/2017

Scale:

Area-	
Maintenance Shed:	68m <sup>2</sup>
Storage:	24m <sup>2</sup>



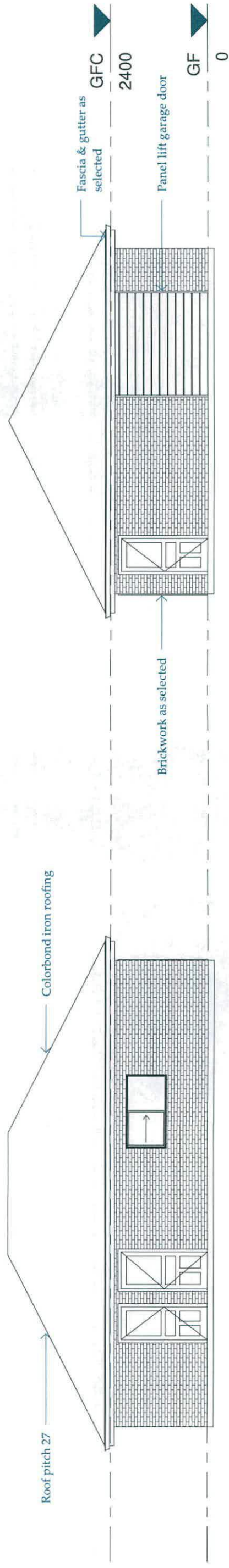
## Ground Floor Plan

No	Date	Description	Notes:	©	Maintenance Shed	Ground Floor Plan
			1. All construction to comply with BCA & AS (australian standards) 2. Windows sizes are nominal and from Stegbar window schedule 3. Levels shown are approx only and should be confirmed onsite prior to construction. 4. All dimensions to be checked by builder/owner prior to ANY construction. 5. Weatherstrips to all external windows & doors.	Prestige Residential Design Reproduction forbidden	10 - 30 Brundsh Rd, Thirlmere Bluegum Lifestyle Resort L.G.A:Project Status	A3-01 Date: 24/08/2017 Scale: 1 : 100



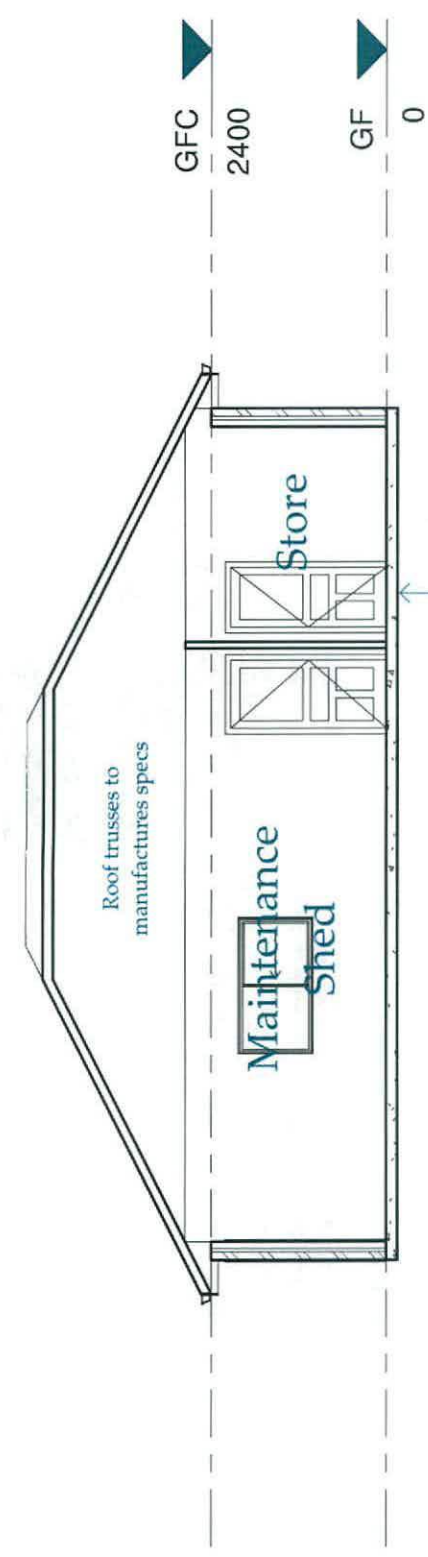
**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com



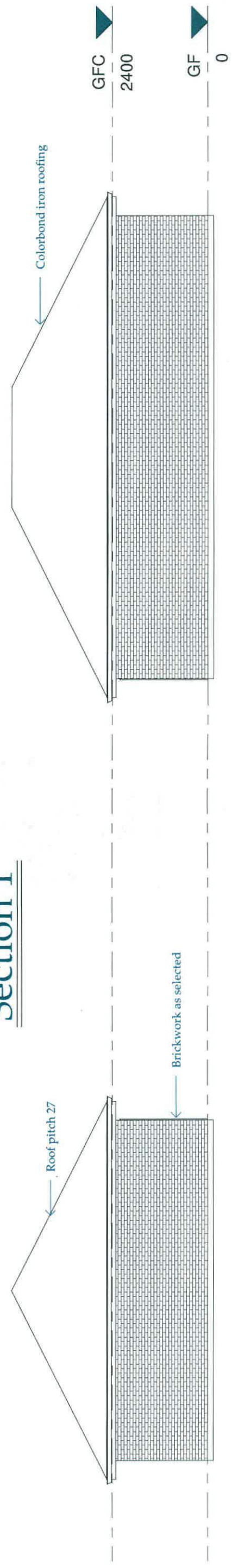


East Elevation

North Elevation



Section 1



South Elevation

West Elevation

**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description

Notes:  
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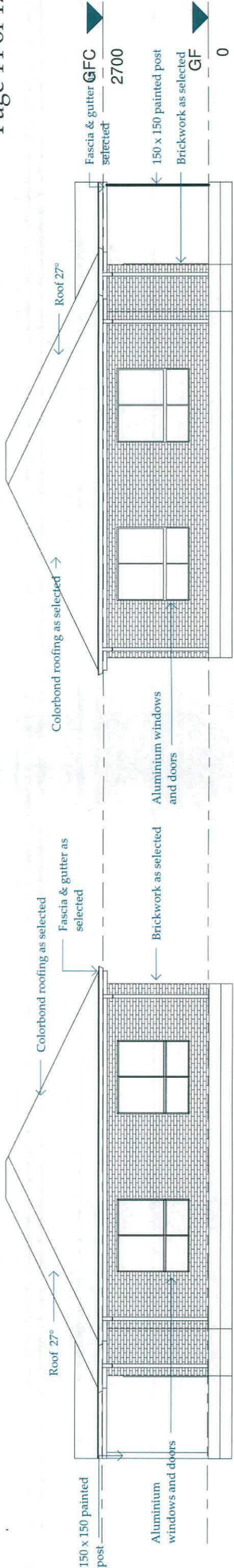
Maintenance Shed  
 10 - 30 Brundish Rd, Thirlmere  
 Bluegum Lifestyle Resort  
 L.G.A:Project Status

Elevations	
Date: 24/08/2017	Scale: 1 : 100
A3-02	



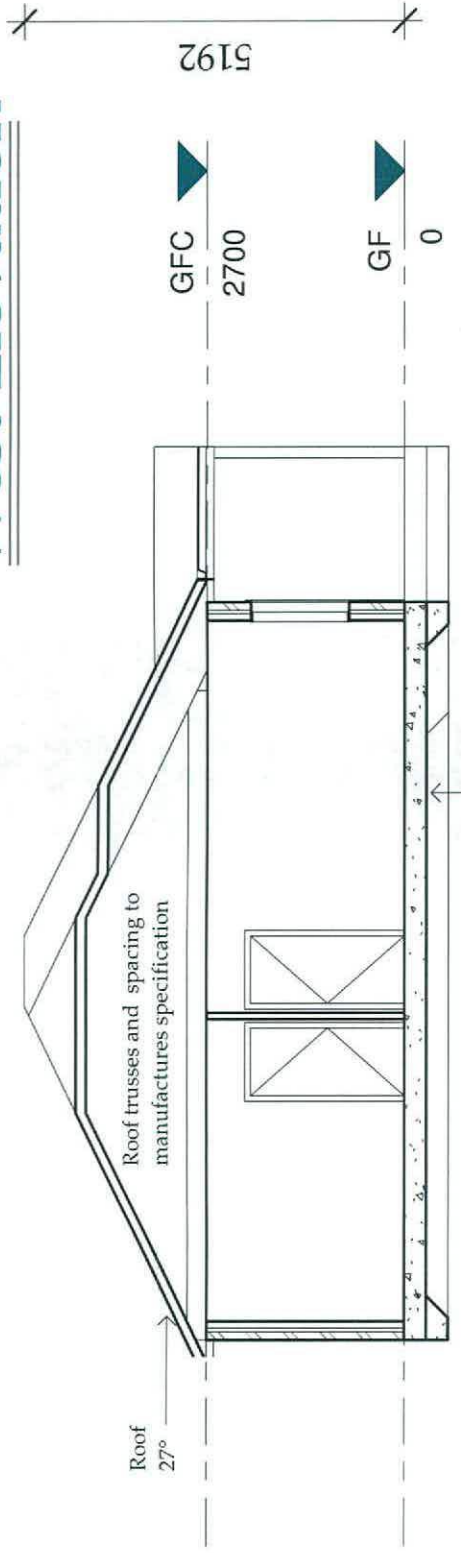




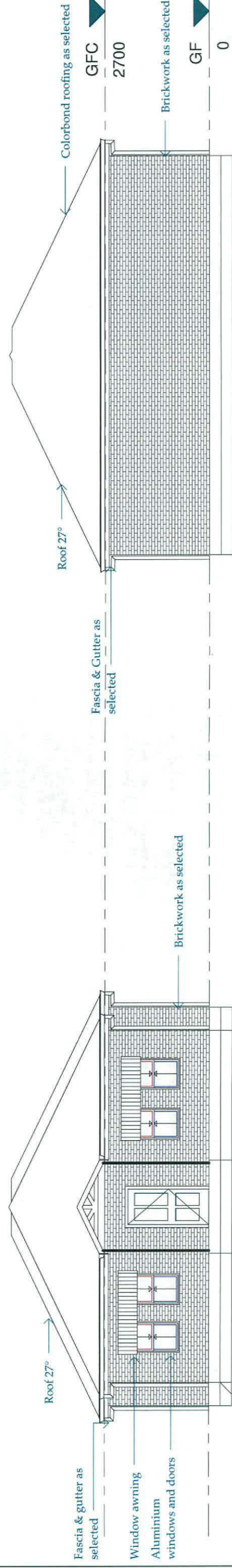


**West Elevation**

**East Elevation**



**Section 1**



**South Elevation**

**North Elevation**

**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description

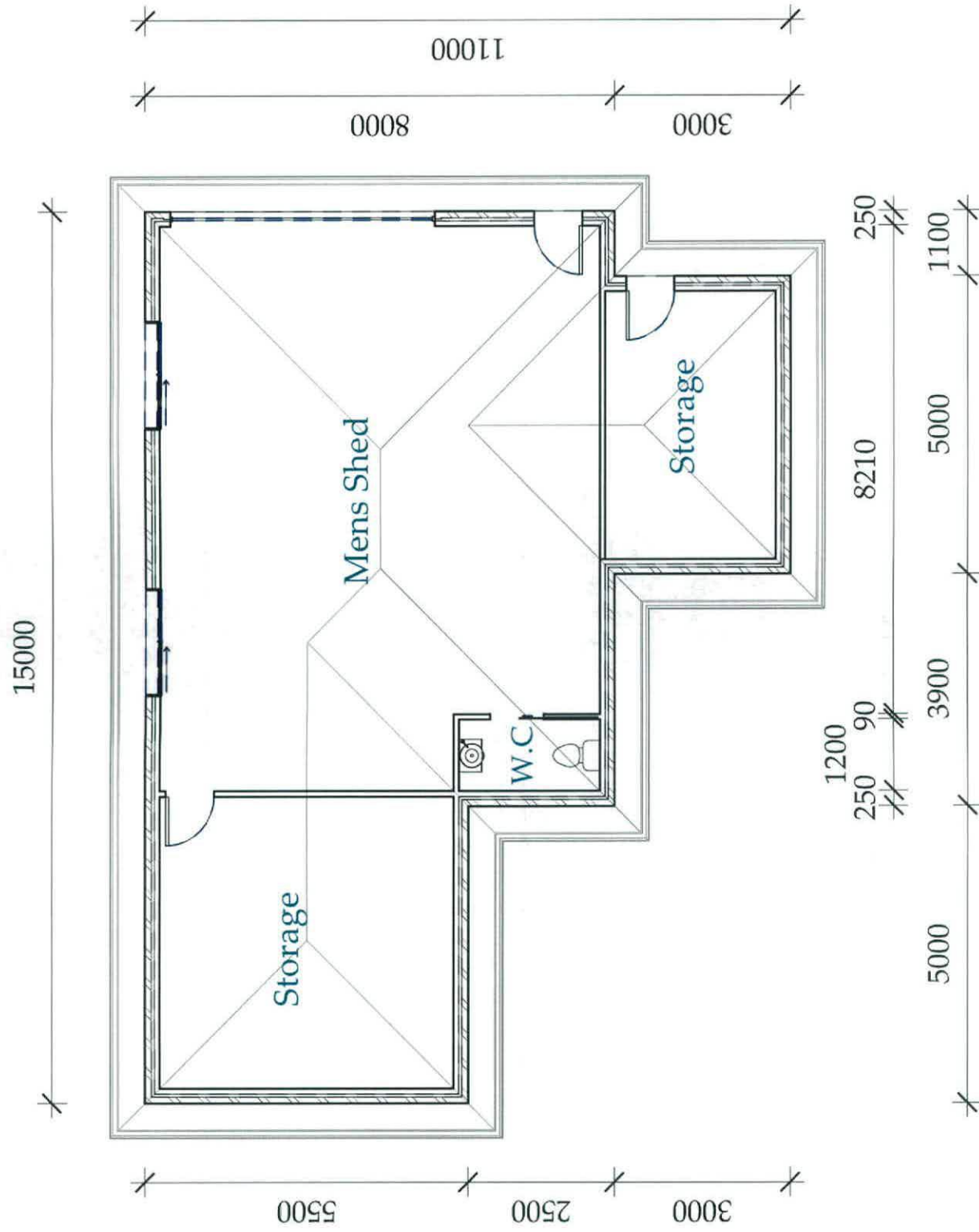
Notes:  
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Wellness Centre 10 - 30 Brundsh Rd, Thirlmere Bluegum Lifestyle Resort L.G.A:Wollondilly Shire Council	Wellness Centre <b>Elevations</b> A3-02	Date: 24/08/2017 Scale: 1 : 100
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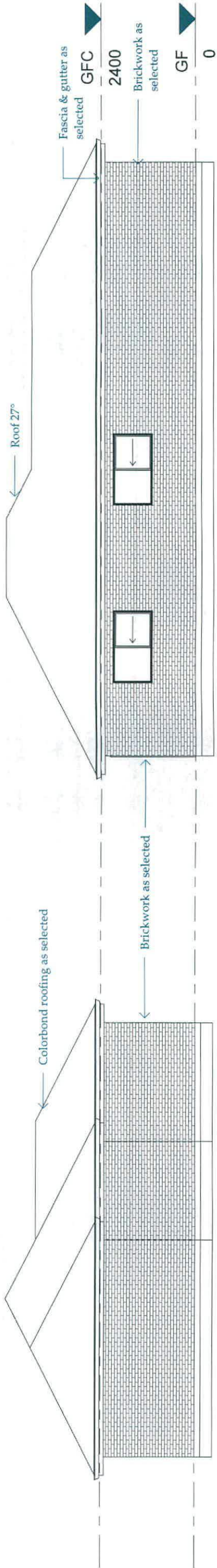
Area-	
Mens Shed:	77m <sup>2</sup>
Storage:	45m <sup>2</sup>



## Ground Floor Plan

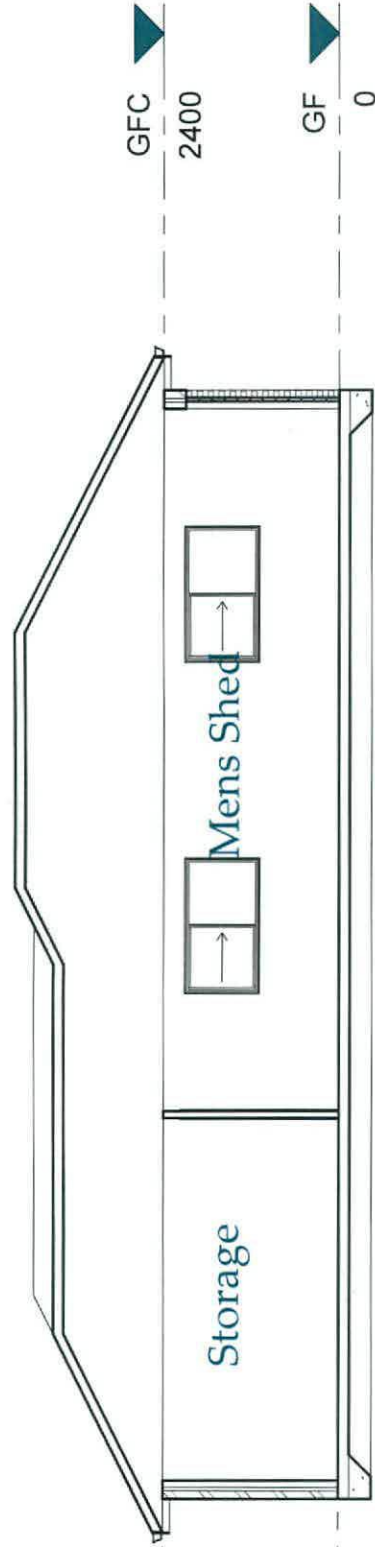
 <p><b>Prestige Residential Design</b>                  Taylah Doosey                  0437350233                  taylah.doosey@gmail.com</p>	No	Date	Description	Notes: 1. All construction to comply with BCA & AS (australian standards) 2. Windows sizes are nominal and from Stegbar window schedule 3. Levels shown are approx only and should be confirmed onsite prior to construction. 4. All dimensions to be checked by builder/owner prior to ANY construction. 5. Weatherstrips to all external windows & doors.	© Prestige Residential Design Reproduction forbidden DO NOT SCALE OFF DRAWINGS	Wellness Centre & Storage 10 - 30 Brundsh Rd, Thirlmere Bluegum Lifestyle Resort L.G.A:Project Status	Ground Floor Plan A3 Date: 24/08/2017 Scale: 1 : 100



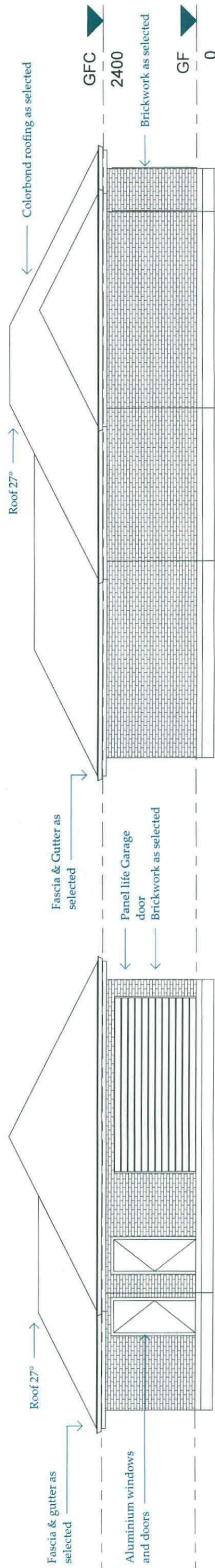


North Elevation

West Elevation



Section 1



East Elevation

South Elevation

**Prestige Residential Design**  
 Taylah Doosey  
 0437350233  
 taylah.doosey@gmail.com

No	Date	Description


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Wellness Centre & Storage  
 10 - 30 Brundish Rd, Thirlmere  
 Bluegum Lifestyle Resort  
 L.G.A:Project Status

Wellness Centre Elevations  
 A3  
 Date: 24/08/2017  
 Scale: 1 : 100



 Prestige Residential Design	Prestige Residential Design 80 Pacific Ave, Warri Beach NSW 2534 Phone - 0458970195 Fax - 0242340717 taylorh.doosey@gmail.com	CLIENT: BLUEGUM LIFESTYLE RESORT	THIS SHEET: POOL PLAN	SHEET NO
		PROJECT: POOL PLAN	SCALE: 1:50	1
			DATE: 24/08/2017	



# GR3 Attachments

1. Approved shed location on smaller lot
2. Modification to shed location on larger lot
3. Photographs of disused poultry sheds at No. 335 Pheasants Nest Road
4. Aerial location of subject site and adjacent No. 335 Pheasants Nest Road poultry farm.
5. Location of heritage dwelling at No. 290 Pheasants Nest Road.

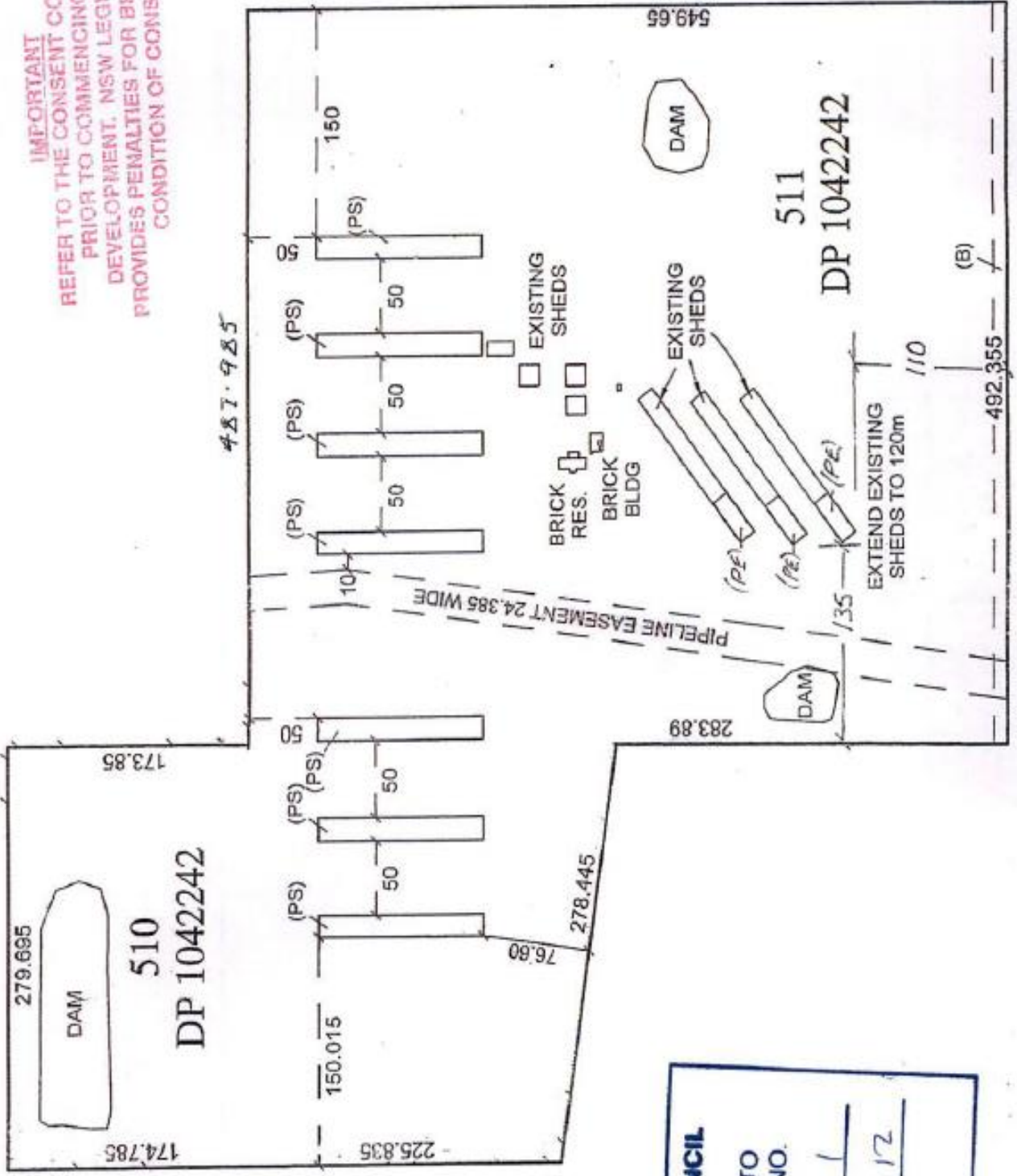
**Monday 11 December 2017**

---

GR3 – Development Application No. 010.2011.00000568.002 - Modification of Consent –  
294 – 296 Pheasants Nest Road, Pheasants Nest

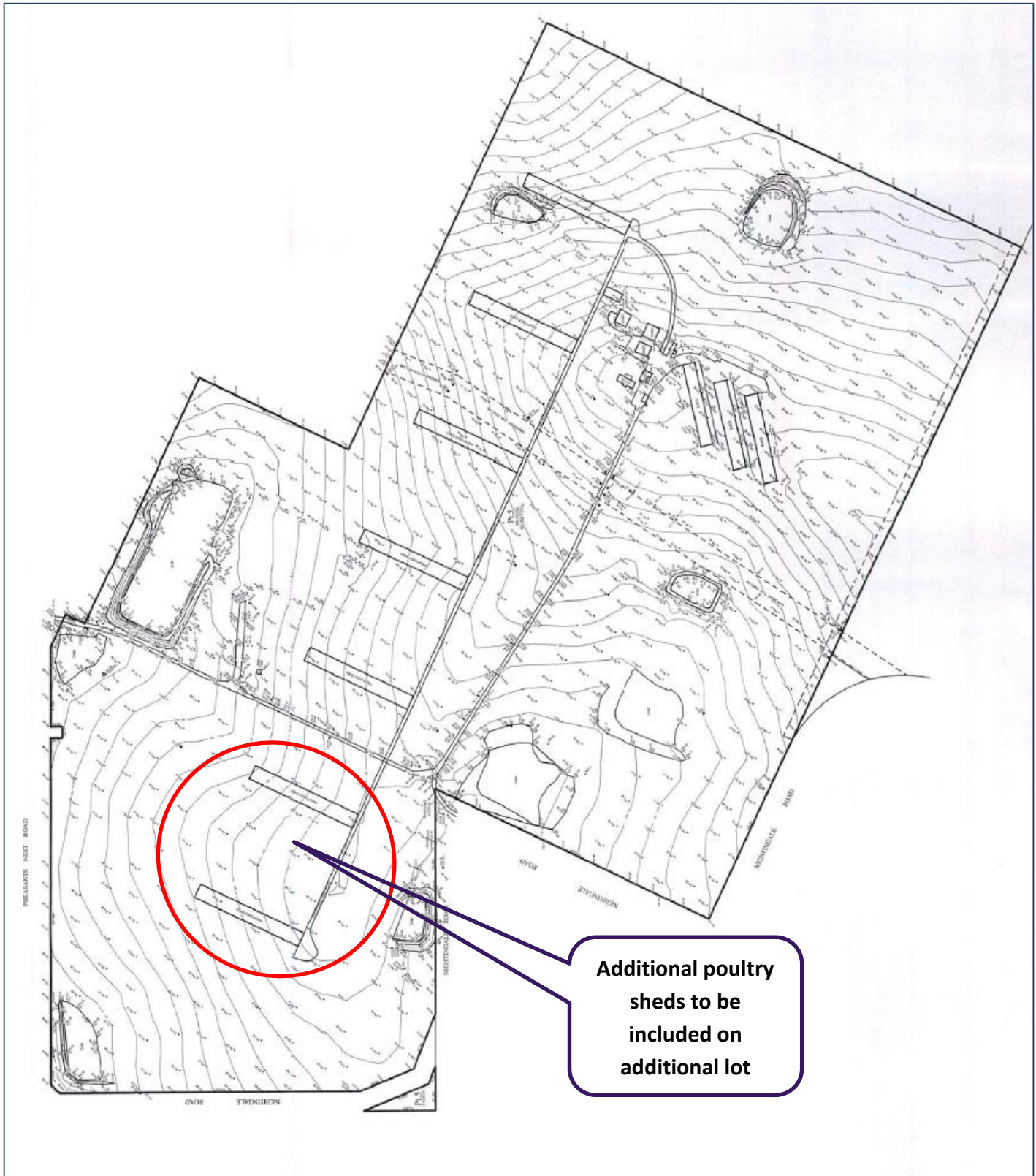
Scale: 1:

**IMPORTANT**  
REFER TO THE CONSENT CONDITION  
PRIOR TO COMMENCING THIS  
DEVELOPMENT. NSW LEGISLATION  
PROVIDES PENALTIES FOR BREACH  
CONDITION OF CONSENT.



RE COUNCIL  
REFERRED TO  
CONSENT NO.  
68  
L 2 L 12  
LA

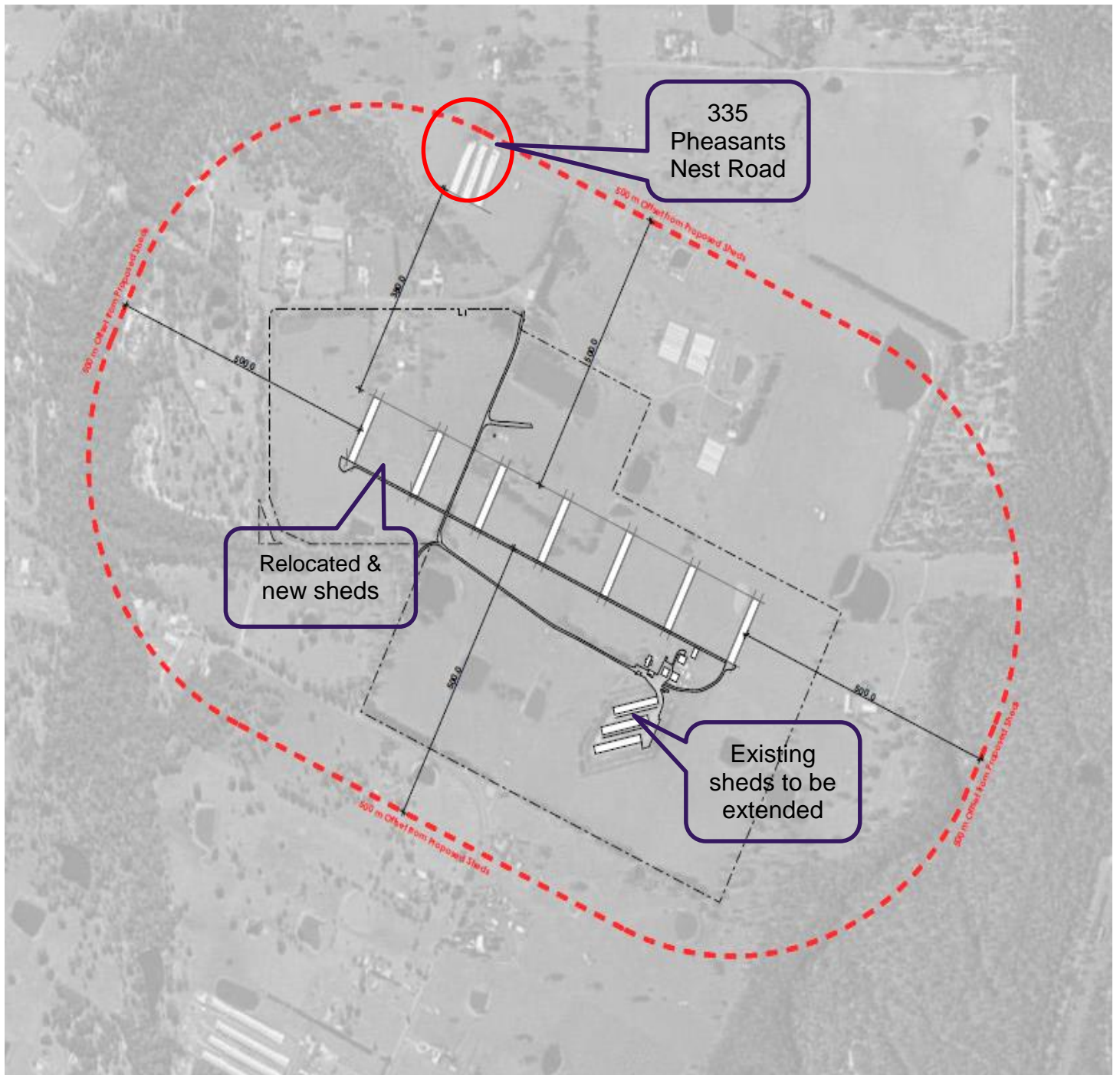


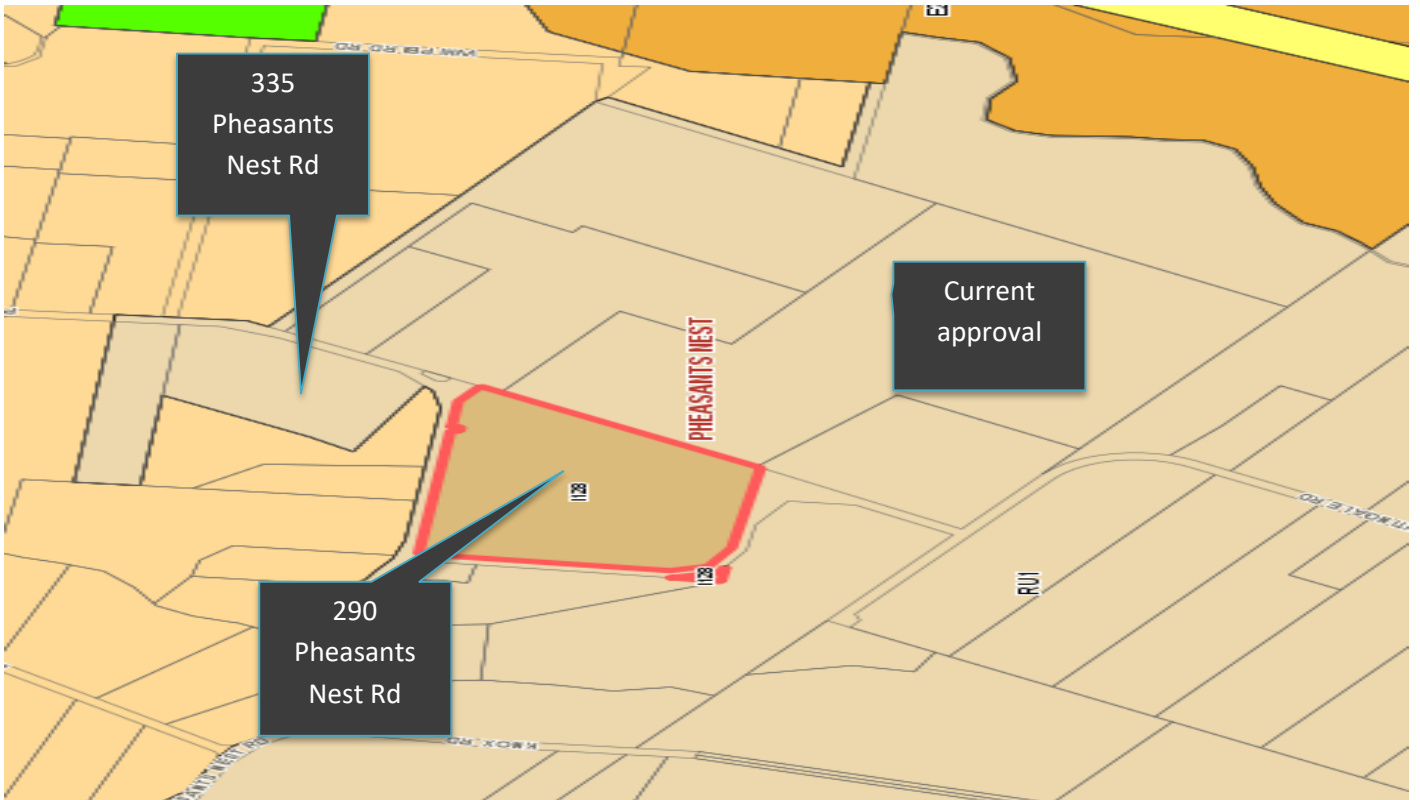


**Additional poultry  
sheds to be  
included on  
additional lot**









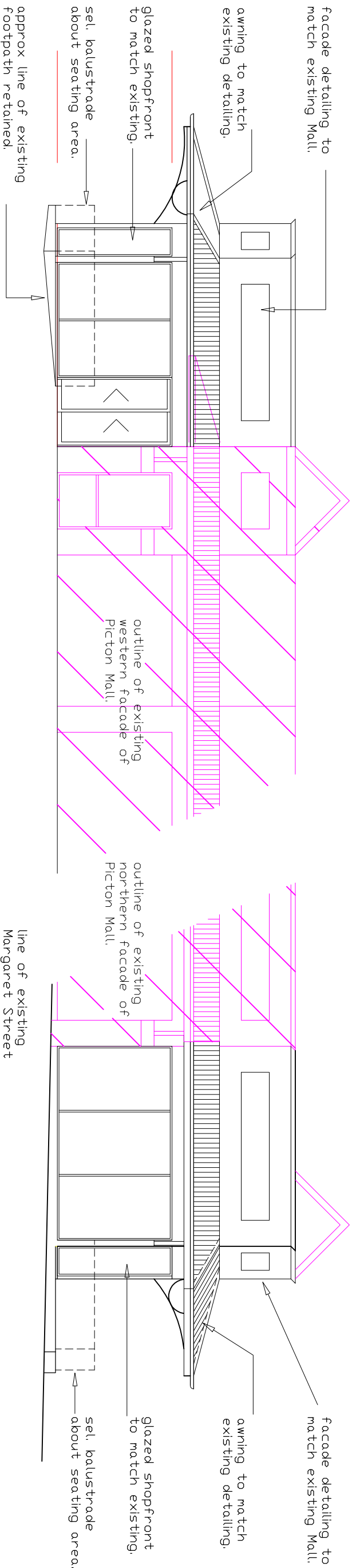
# GR4 Attachments

1. Margaret St – Shop elevation
2. Margaret St - Section elevation
3. Margaret St - Site Plan

**Monday 11 December 2017**

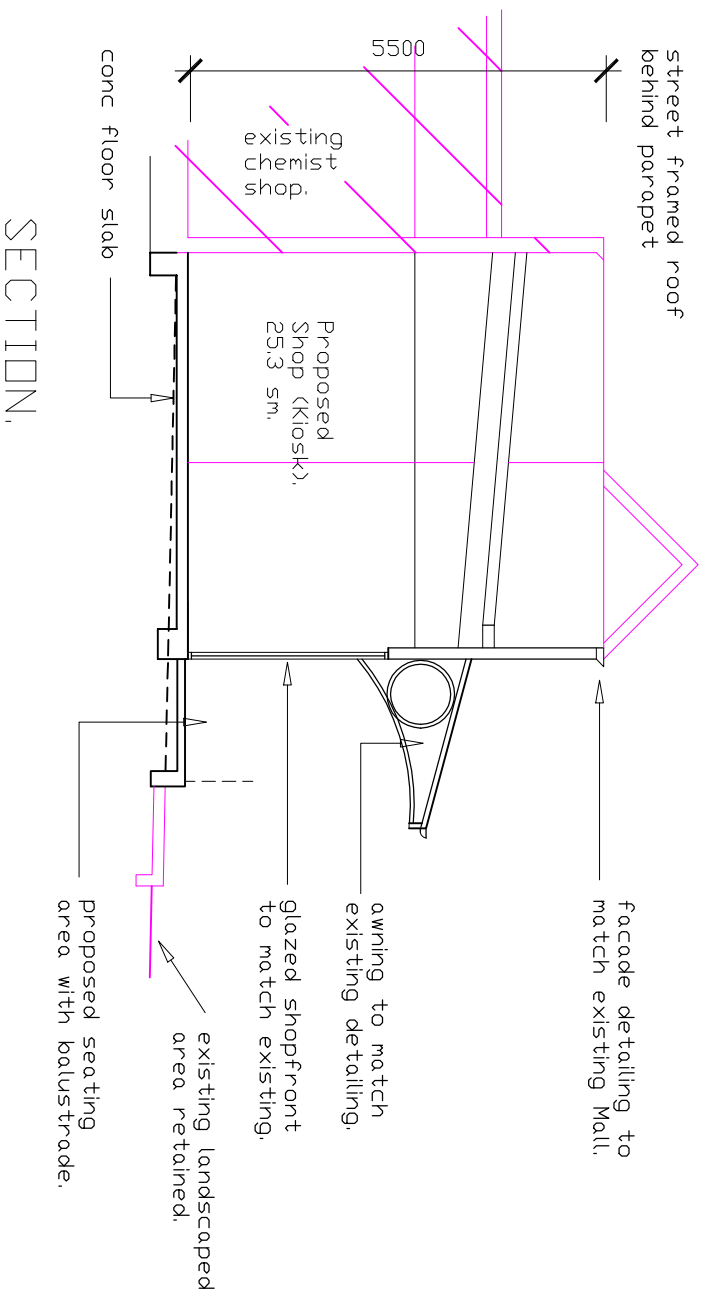
---

GR4 – Development Application 010.2017.00000043.001 – Construction Retain Building,  
Basement Car Park & Demolish Old Fire Station Building – 7-9 Margaret Street,  
Picton



WESTERN ELEVATION

NORTHERN ELEVATION



SECTION.

Proposed Retail Development,  
at Margaret St Picton NSW,  
(Old Fire Station Site)

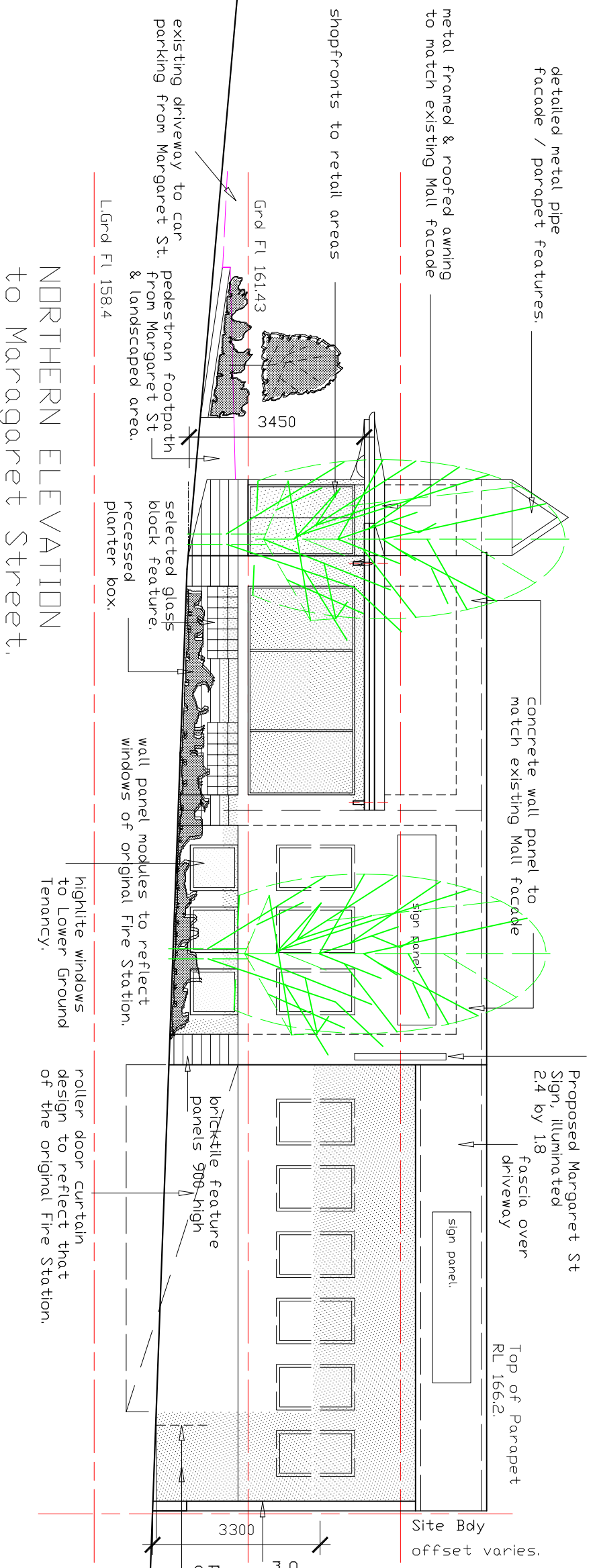
**D R A K E     D E S I G N S**  
Building & Design Consultants,  
Picton NSW Tel. 0407 939 181

Shop Addition  
Elevations & Section.

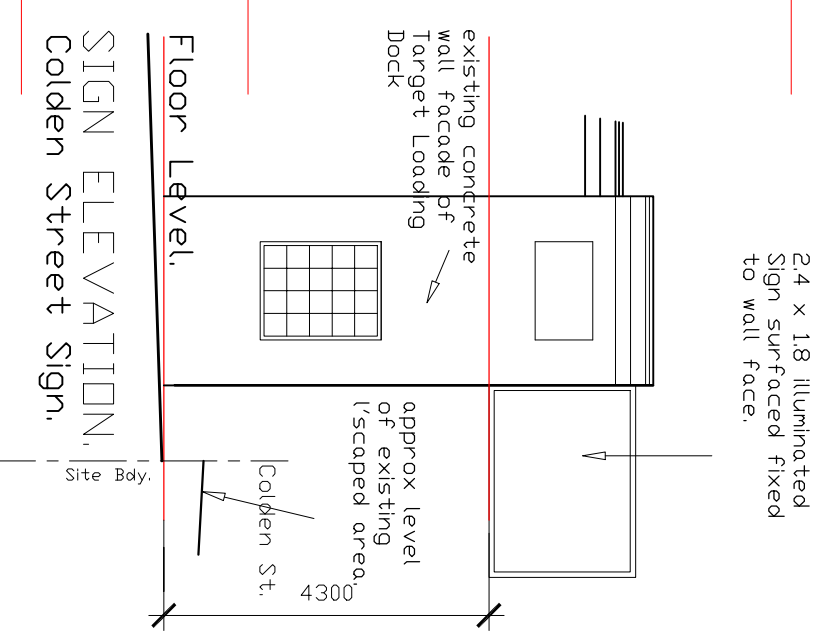
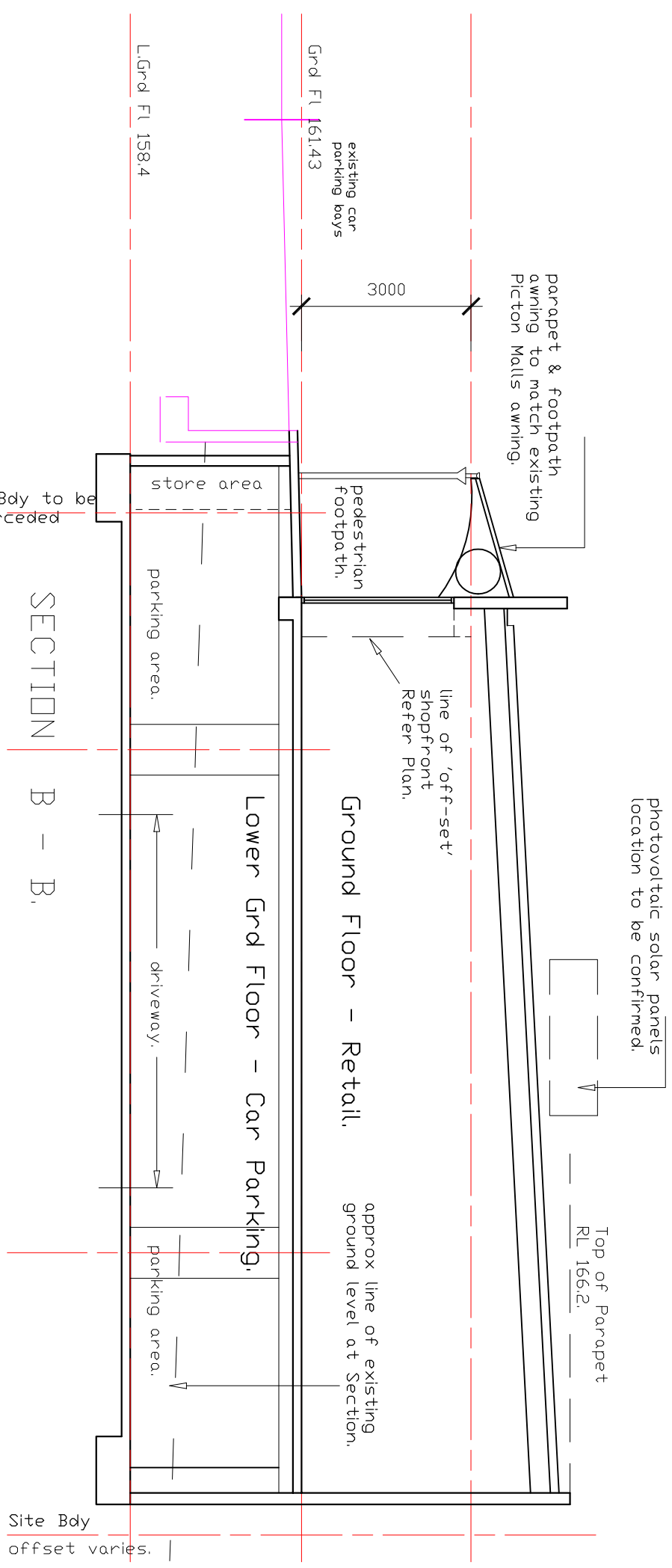
Ref: 15-6-357  
Date: June 2016  
Scale: 1:100@A3.

Dwg No:  
**DA 08**





NORTHERN ELEVATION  
to Margaret Street.



Proposed Retail Development,  
at Margaret St Picton NSW,  
(Old Fire Station Site)

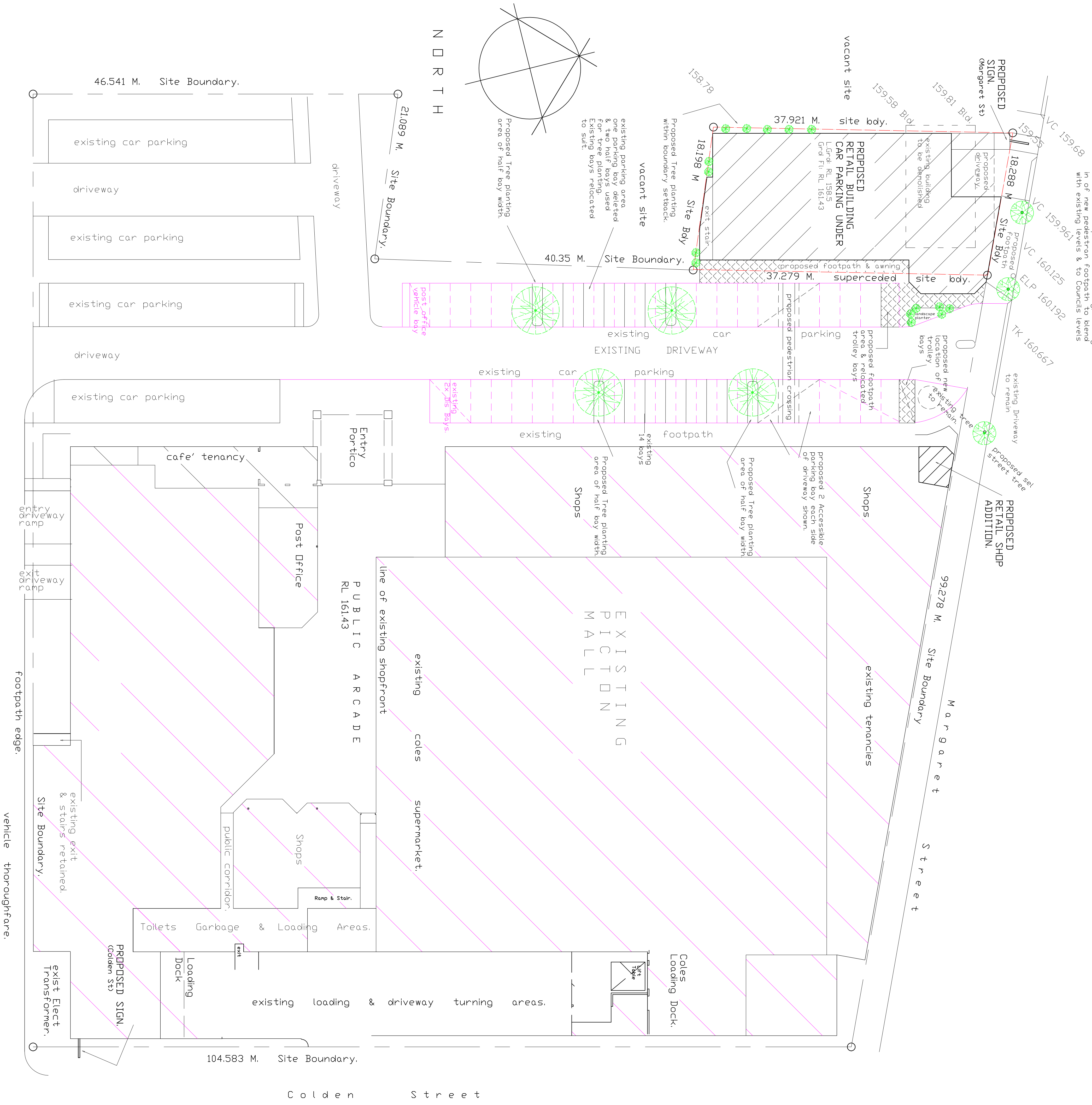
Section & Eastern Elevation,  
Sign Elevation

D R A K E D E S I G N S

Building & Design Consultants,  
Picton NSW Tel. 0407 939 181

Ref: 15-6-357  
Date: June 2016  
Scale: 1:100@A3.  
Dwg No: DA 05.F

Proposed refurbished street footpath and new kerb crossing to driveway and selected three street trees, with the removal of superceded crossing, building in of new pedestrian footpath to blend with existing levels & to Councils levels



**PROPOSAL STATISTICS.**

Site Areas:  
 Existing Picton Mall Site: 11,928 sm.  
 Lot 2, DP 212204 (Proposal): 6,791 sm.  
 Total Amalgamated Site: 12,607.1 sm.

Floor Areas:  
 Mall (existing) : 7,324.2 sm. (retail floor)  
 Proposed Building (lot 2) : 5871 sm.  
 Proposed Amalgamated Floor Area: 8,000.0 sm.

Car Parking:  
 Current Mall Parking: 247 bays  
 Proposed Parking: 16 bays.  
 (Required by DCP: 14.3 = 14 bays).

Therefore:  
 Proposals parking credit: 17 bays.  
 Malls current Parking Credit: 7 bays.  
 Sub Total: 87 bays.

Minus:  
 3 bay due to new Disabled  
 2 bays due to Landscaping  
 1 bay for Loading Bay  
 Total Parking credit: 27 bays.

REV 'G' 20.7.17 Generally updated with L'scaping & Kiosk shop added & parking revised.

**PROPOSED ADDITION TO PICTON MALL**  
 of Retail Building with car parking under / removal of existing Building Site Amalgamation & Sign.

<b>Proposed Amalgamated Site Plan</b>	
<b>Drake Designs.</b> Building & Design Consultants 104 Kent Road Picton NSW. Tel 4681 9950 / 0407 939 181. Email: geoffrey@drakedesigns.com.au Website:	Ref: 15-6-357 Date: July 2016 Scale: 1 : 500 @ A3. Scale: 1 : 250 @ A1. Dwg No: DA01.G Revision:



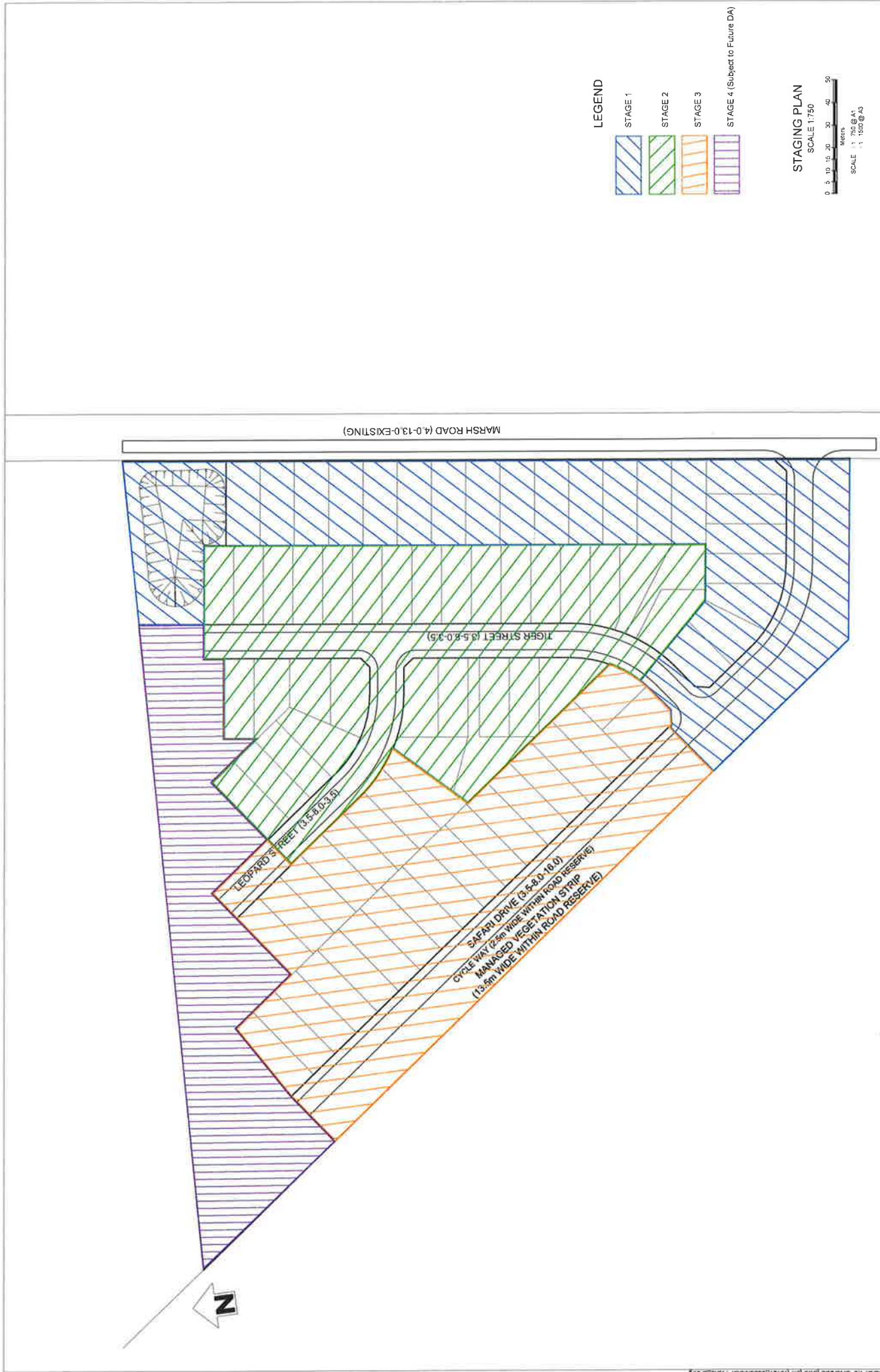
# GR6 Attachments

1. Staging plan
2. Site Layout
3. Site plan showing identified contamination on site
4. Flora & Fauna survey plan

**Monday 11 December 2017**

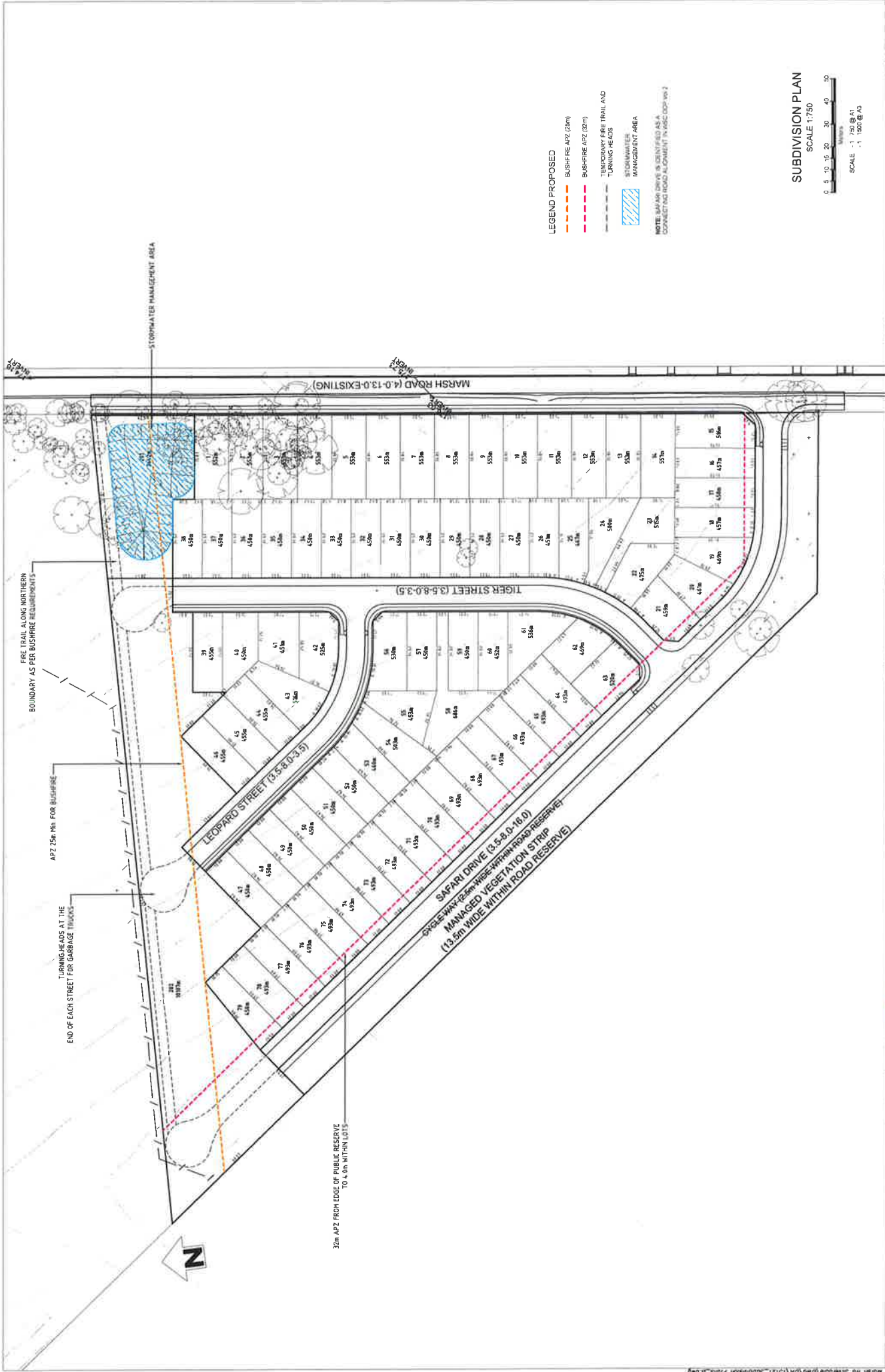
---

GR6 – Development Application No.010.2015.434.001 for demolition of existing structures, bulk earthworks, remediation of land, staged residential subdivision to create 79 lots, 2 residue lots, drainage infrastructure, and landscape works - 65 Marsh Road Silverdale



<b>PROPOSED SUBDIVISION</b> LOT 2 DP588912 NO 65 MARSH ROAD SILVERDALE STAGING PLAN		17143 DA-P03 03 of 08 1:750 @ A1 30/08/17 A A1	
HILL VIEW PROPERTY DEVELOPMENT PTY LTD APPROVAL		WOLLONDILLY	
Weight Classes: A, H, D Classes: A C Categories: A C		Date: 11/09/17 App: A C K R Description: PRELIMINARY RE-ISSUE	
siteplus 24 Parkview Ave, Silverdale NSW 1512 02 9390 1111 www.siteplus.com.au		REVISIONS No. 1 Description: PRELIMINARY RE-ISSUE Date: 11/09/17 App: A C K R	





- LEGEND PROPOSED**
- BUSHFIRE APZ (25m)
  - BUSHFIRE APZ (30m)
  - TEMPORARY FIRE TRAIL AND TURNING HEADS
  - STORMWATER MANAGEMENT AREA

NOTE: SAFARI DRIVE IS IDENTIFIED AS A CONNECTING ROAD ALIGNMENT IN NSIC-ODP-VW-2

**SUBDIVISION PLAN**  
SCALE 1:750  
0 5 10 15 20 30 40 50  
Metres  
SCALE - 1:750 @ A1  
SCALE - 1:1500 @ A3

REVISIONS	DESCRIPTION	DATE	APP	DRN
	A PRELIMINARY RE-ISSUE	11/09/17	KR	A/C
<p>17143 DA PO1 17143 DA PO1 01 at 08 1750 @ A1 30/08/17</p>				
<p>PROPOSED SUBDIVISION LOT 2 DP5688912 NO 65 MARSH ROAD SILVERDALE SUBDIVISION PLAN</p>				
<p>HILL VIEW PROPERTY DEVELOPMENT PTY LTD WOLLONDILLY</p>				
<p>APPROVAL</p>				
<p>APZ 25m Min FOR BUSHFIRE BOUNDARY AS PER BUSHFIRE REQUIREMENTS</p>				
<p>TURNING HEADS AT THE END OF EACH STREET FOR GARAGE TRUCKS</p>				
<p>APZ 25m Min FOR BUSHFIRE</p>				
<p>32m APZ FROM EDGE OF PUBLIC RESERVE TO 4.0m WITHIN LOTS</p>				
<p>STORMWATER MANAGEMENT AREA</p>				
<p>MARSH ROAD (4.0-13.0-EXISTING)</p>				
<p>TIGER STREET (3.0-9.0-3.5)</p>				
<p>LEOPARDO STREET (3.5-8.0-3.5)</p>				
<p>SAFARI DRIVE (3.3-8.0-18.0) CYCLEWAY (2.0m WIDE WITHIN ROAD RESERVE) MANAGED VEGETATION STRIP (13.5m WIDE WITHIN ROAD RESERVE)</p>				





**DRAFT**

client:	HILL VIEW PROPERTY DEVELOPMENT PTY LTD
project:	REMEDIAL ACTION PLAN MARSH ROAD, SILVERDALE, NSW
title:	SITE LAYOUT PLAN WITH APPROXIMATE LOCATION OF SAMPLES
project no.:	ENAUWOLL04239AB
figure no.:	FIGURE 2
rev.:	A



drawn	JB / FA
approved	
date	22 / 02 / 16
scale	AS SHOWN
original size	A3



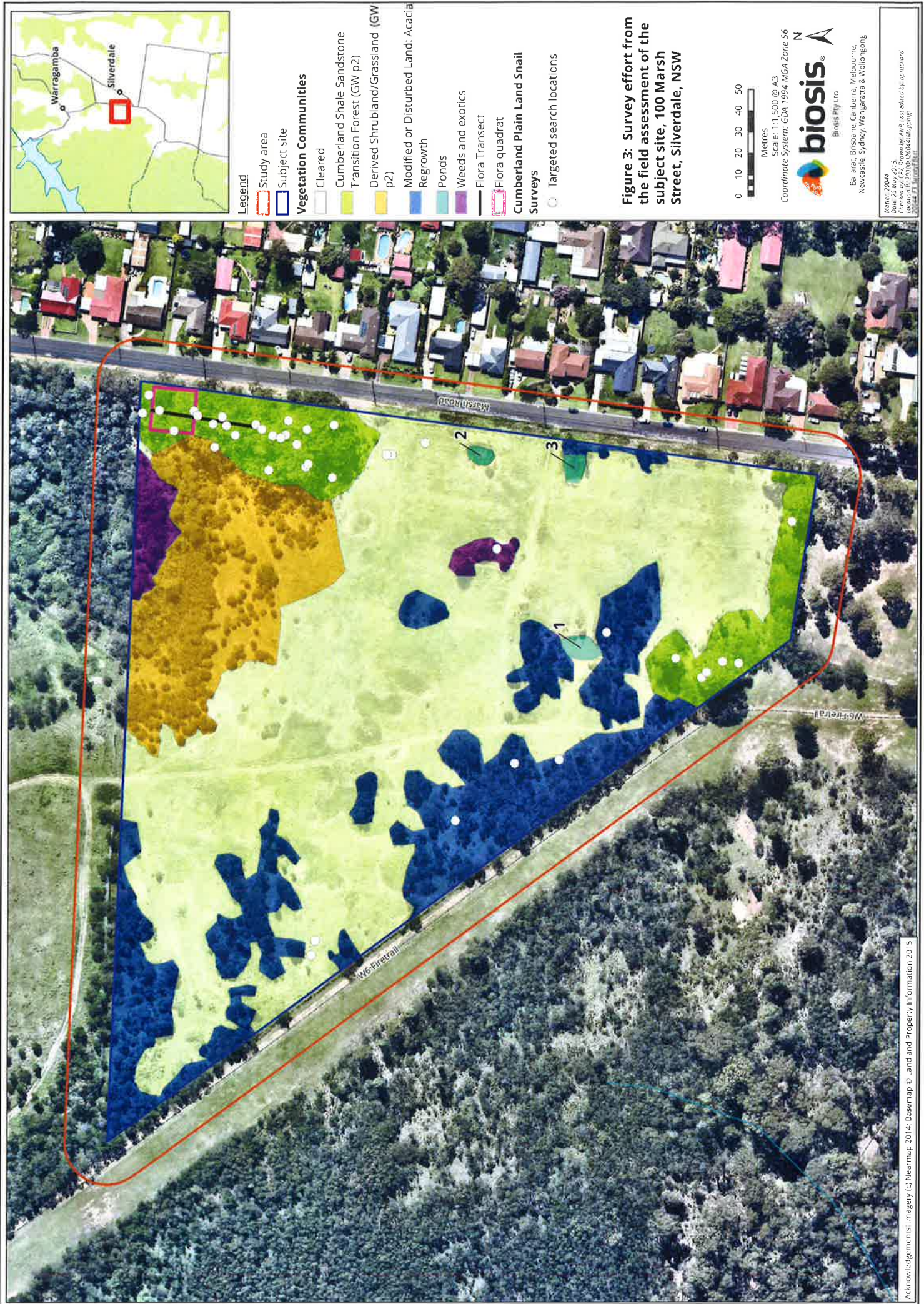
AERIAL IMAGERY COPYRIGHT © Land and Property Information (0000/2019)  
 SOURCED FROM WEBSITE: [www.nsw.gov.au/land-and-property](http://www.nsw.gov.au/land-and-property)  
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no.	description	drawn	approved	date
A	ORIGINAL ISSUE			

**LEGEND**

- HAND AUGER LOCATIONS
- SURFACE SAMPLE LOCATIONS
- SITE BOUNDARY
- SUSPECTED FORMER STRUCTURES/BUILDINGS





- Legend**
- Study area
  - Subject site
- Vegetation Communities**
- Cleared
  - Cumberland Shale Sandstone
  - Transition Forest (GW p2)
  - Derived Shrubland/Grassland (GW p2)
  - Modified or Disturbed Land: Acacia
  - Regrowth
  - Ponds
  - Weeds and exotics
  - Flora Transect
  - Flora quadrat
- Cumberland Plain Land Snail Surveys**
- Targeted search locations

**Figure 3: Survey effort from the field assessment of the subject site, 100 Marsh Street, Silverdale, NSW**



Scale: 1:1,500 @ A3  
Coordinate System: GDA 1994, MGA Zone 56



Biosis Pty Ltd  
Ballarat, Brisbane, Cumbernauld, Melbourne, Newcastle, Sydney, Warragamba & Wollongong

Refer: 20044  
Date: 25 May 2015  
Created by: CPM, Drawn by: AHP, Los edited by: asinard  
Scale: 1:1,500 @ A3  
Coordinate System: GDA 1994, MGA Zone 56

Acknowledgements: Imagery (C) Nearmap, 2014; Base map (C) Land and Property Information, 2015



# GR7 Attachments

1. Site Plan (Issue E)
2. Elevations, units 1 to 2 (Issue C)
3. Upper Floor Plan, units 1 to 2 (Issue C)
4. Elevations, units 3 to 5 (Issue E)
5. Upper Floor Plan, units 3 to 5 (Issue E)
6. Landscape Plan (Issue C)
7. Lower Floor Plan, units 1 to 2 (Issue C)
8. Lower Floor Plan, units 3 to 5 (Issue E)

**Monday 11 December 2017**

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GR7 – Development Application No. 010.2016.00000590.001 –  
Demolition of Structures & Construction of 5 Multi  
Dwelling Housing – 23 Burragorang Street, The Oaks

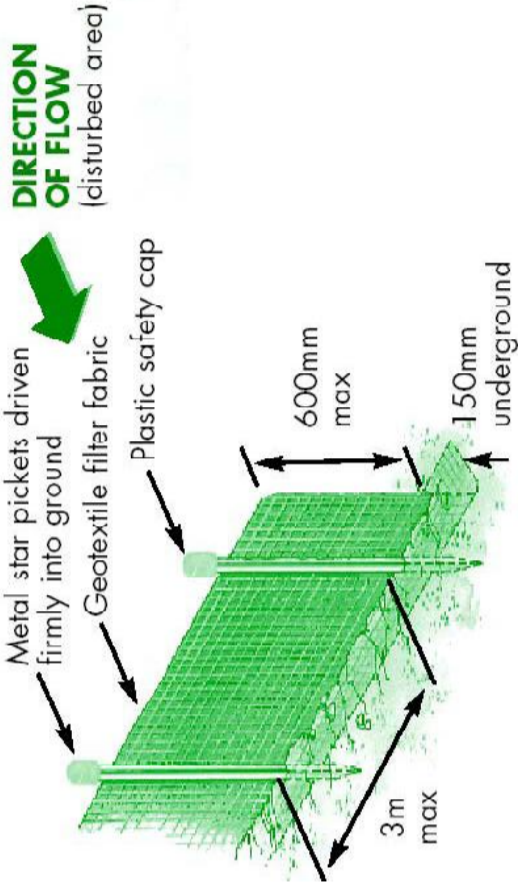


APPROVED SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON SITE BEFORE CONSTRUCTION COMMENCES. THEY ARE TO BE RETAINED UNTIL CONSTRUCTION IS COMPLETE

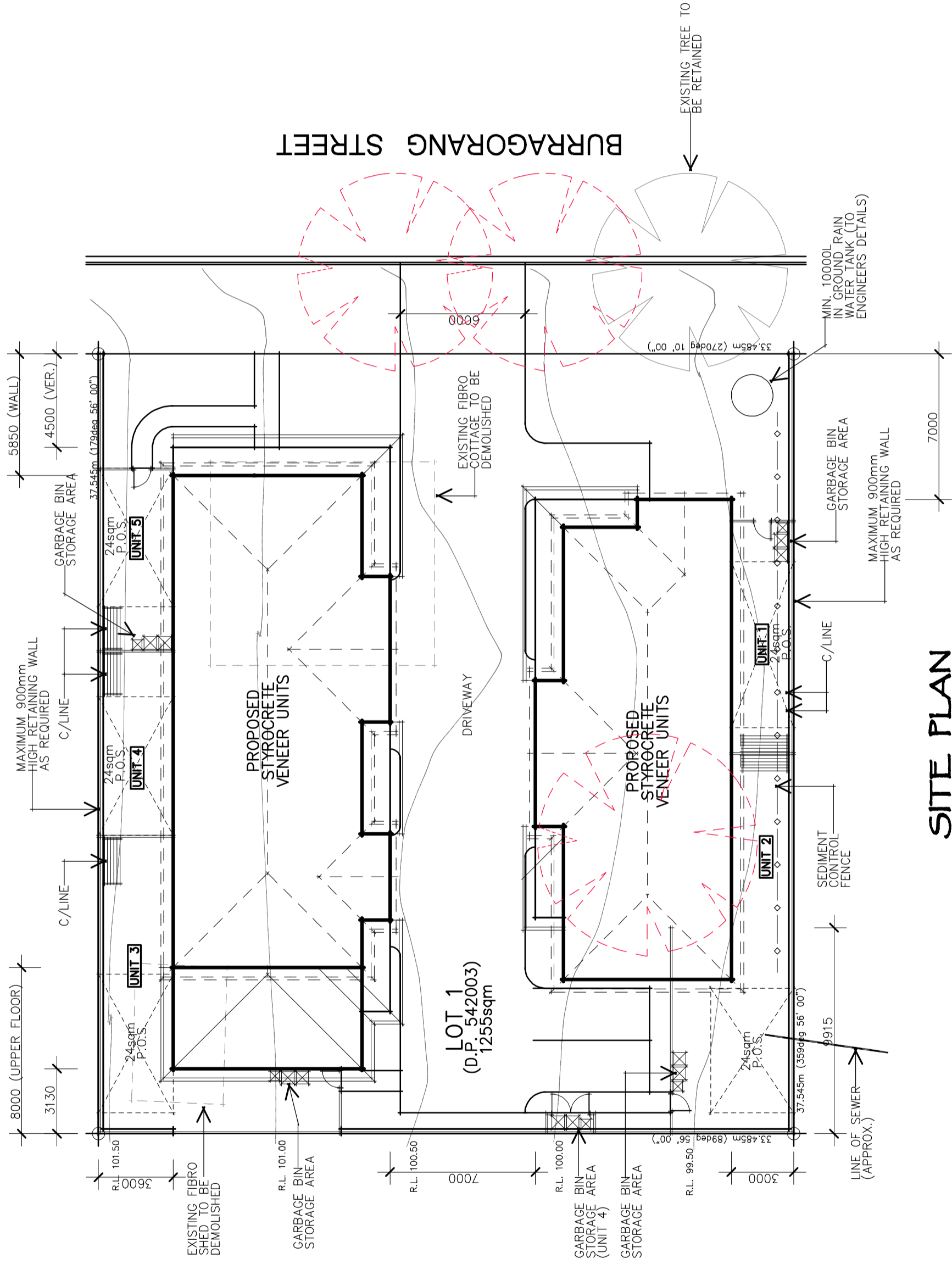
LOCATION OF WATER TANK TO BE VERIFIED BY BUILDER BEFORE WORK COMMENCES

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK

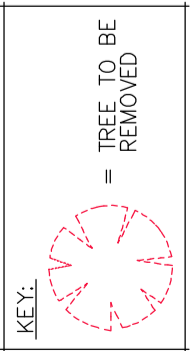
SEWER DETAILS SHOWN ARE APPROX. ONLY, AND ARE TO BE VERIFIED BY A SURVEYOR BEFORE WORK COMMENCES.



**SEDIMENT CONTROL DETAIL**  
NOT TO SCALE



**SITE PLAN**  
SCALE 1:200



PRIVATE OPEN SPACE AREAS:	
UNIT 1	33.84sqm
UNIT 2	90.57sqm
UNIT 3	76.86sqm
UNIT 4	32.12sqm
UNIT 5	31.88sqm

**CALCULATIONS:**

SITE COVER	COVER 75% OF SITE
MAXIMUM SITE COVER	941.25sqm
SITE COVER	= 833.36sqm (COMPLIES)
LANDSCAPED AREA:	
MINIMUM FORMAL LANDSCAPED AREA OF 10% SITE AREA	125.50sqm
FORMAL LANDSCAPED AREA	= 421.64sqm (COMPLIES)

**NOTES:**  
 1. Levels shown are approximate only and should be verified on site before work commences.  
 2. Figured dimensions are to be used in preference to scaling.  
 3. All measurements are in millimetres unless otherwise stated.  
 4. Window sizes are nominal only. Final window schedule by builder.  
 5. Granite/guard termite barrier to perimeter unless otherwise noted.  
 6. All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 000077820  
 Assessor Name: Reginald Hawkins  
 Accreditation no.: 20072  
 Certificate date: 01 August 2016

Average star rating: 5.8  
**NATIONWIDE HOUSE**  
 BUILDING RATING SCHEME  
 www.natwide.gov.au

23 Burragorang Street  
 The Oaks, NSW  
 2570  
 www.natwide.gov.au

**ABS**  
 Australian Building Standards Authority  
 (NSW Branch) 1300 524 645  
 Member Since: 07/03/2013  
 Assessor Name: Reginald Hawkins  
 Member No: 2016  
 Member Grade: A  
 100% Building Approval Process  
**BASIA**  
 Building Approval System of Australia

ISSUE	AMENDMENT	DATE
C	DA ISSUE (R.H.)	28-7-16

CLIENT: **MR & MRS GORDON**

JOB: **PROPOSED MULTIUNIT DEVELOPMENT**

23 Burragorang Street The Oaks NSW 2570  
 LOT: 1 DP: 542003 AREA: 1255sqm  
 LGA: Wollondilly Shire Council

Scale designer of:

SCALE:	DATE:	DRAWN:	ISSUE:
1:200 @ A2	20-4-16.	T.H.	E

DRAWING No: 1968

WINNER 2010 HANNSW Spec-Home of the Year

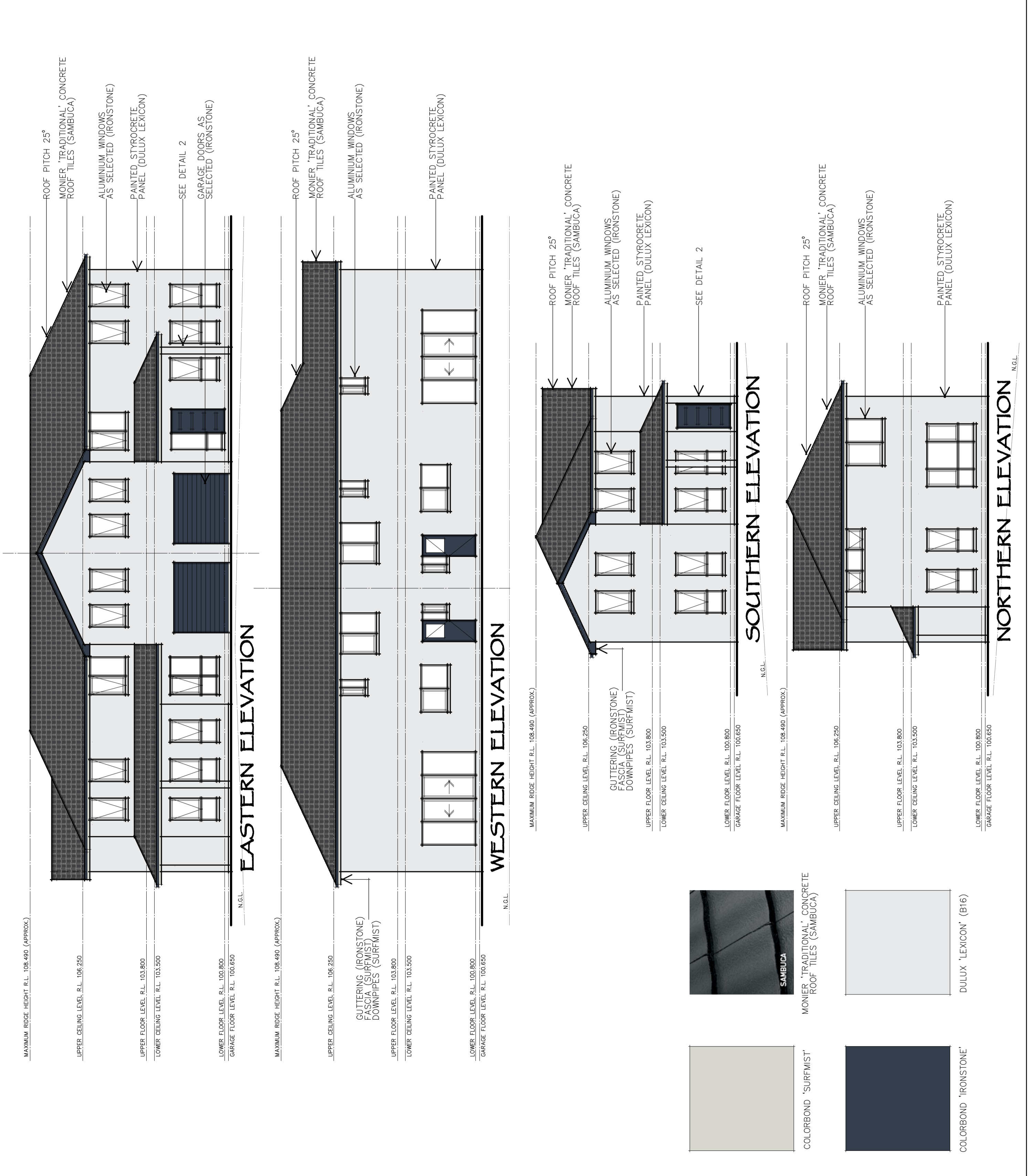
**REGGIE'S**  
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PO Box 222 Bargo NSW 2574  
 Shop 2/208 Great Southern Road, Bargo NSW 2574  
 Phone: 4684 3747 • Fax: 4684 3743 • Mobile: 0438 843 748  
 Email: design@reggiesdesign.com.au

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**NOTES:**

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- Figured dimensions are to be used in preference to scaling.
- All measurements are in millimetres unless otherwise stated.
- Window sizes are nominal only. Final window schedule by builder.
- Graniteguard termite barrier to perimeter unless otherwise noted.
- All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 0600670820  
 Assessor Name: Reginald Hawkins  
 Accreditation no.: 20072  
 Certificate date: 01 August 2016

**5.8**  
 Average star rating

**NATIONWIDE HOUSE**  
 BEST VALUE AWARD 2016

23 Burragorang Street,  
 The Oaks, NSW  
 2570

www.natias.gov.au

**ABS**  
 Class 1 Buildings  
 Building Services  
 Licence No. 17232005  
 Licence Holder: Reginald Hawkins  
 Licence Issue Date: 01/08/2016  
 Licence Expiry Date: 31/07/2021  
 Assessor Name: Reginald Hawkins  
 Assessor No.: 20112  
 Assessor Status: Full

**BASIX**  
 BASIX Design Approval Process

C	DA ISSUE (R.H.)	28-7-16
ISSUE	AMENDMENT	DATE
CLIENT: <b>MR &amp; MRS GORDON</b>		

JOB:  
**PROPOSED STYROCRETE VENEER UNITS**

23 Burragorang Street, The Oaks NSW 2570

LOT: 1	DP: 542003	AREA: 1255sqm
LGA: Wollondilly Shire Council		
SCALE:	DATE:	21-6-16.
DRAWING No:	DRAWN: ISSUE:	T.H. C
1968-3		

Proud designer of

WINNER 2010  
 HANSA  
 Spec Home of the Year

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 Email: design@reggiasdesign.com.au

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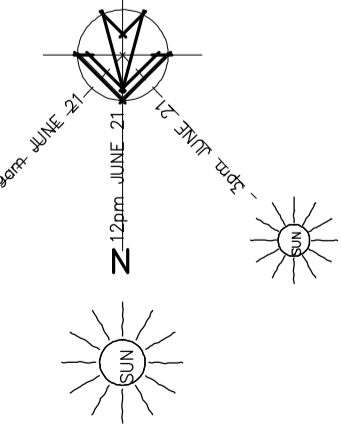
R1.5 INSULATION & VAPOUR PERMEABLE SARKING TO WALLS  
R3.5 INSULATION TO CEILING SARKING TO U.S. OF TILES

WEATHERSTRIPPING TO ALL EXTERNAL DOORS & WINDOWS

BATHROOM TAPS - 4 STAR  
SHOWERHEADS - 3 STAR  
KITCHEN TAPS - 4 STAR  
TOILETS - 4 STAR

16mm GYPROCK FYRCHERK PLASTERBOARD LINING  
MIN. R1.8 GLASSWOOL INSULATION TO 90mm STUD FRAME WALLS  
40mm AIR GAP  
50mm STYROCON PANEL (FRL - /90/90)

**DETAIL 1**  
SCALE 1:20  
Rw 69, Rw+Chr 55 (+/-3) WITH STANDARD 13mm PLASTERBOARD REPORT BY INSUL DATED 25/1/13 EXCEEDS CSR 456(b)



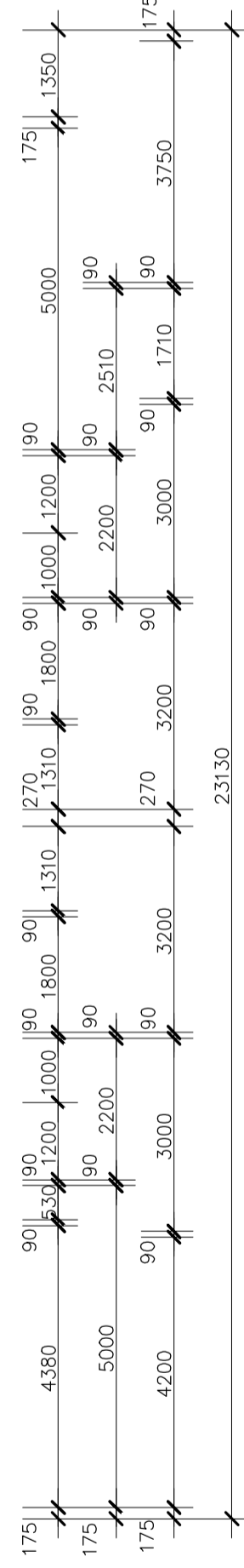
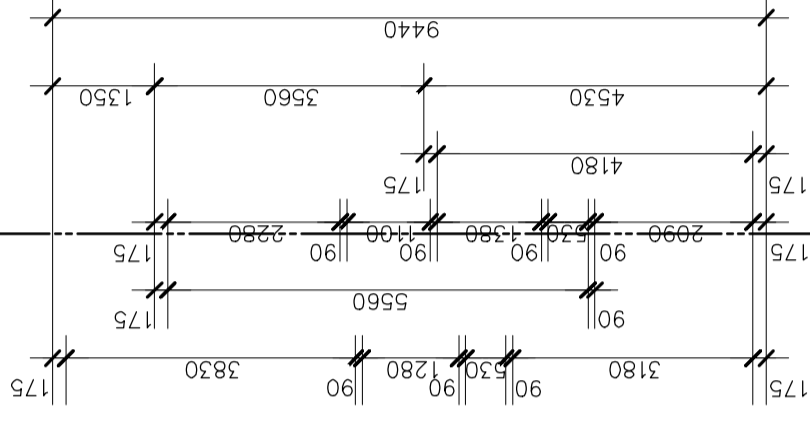
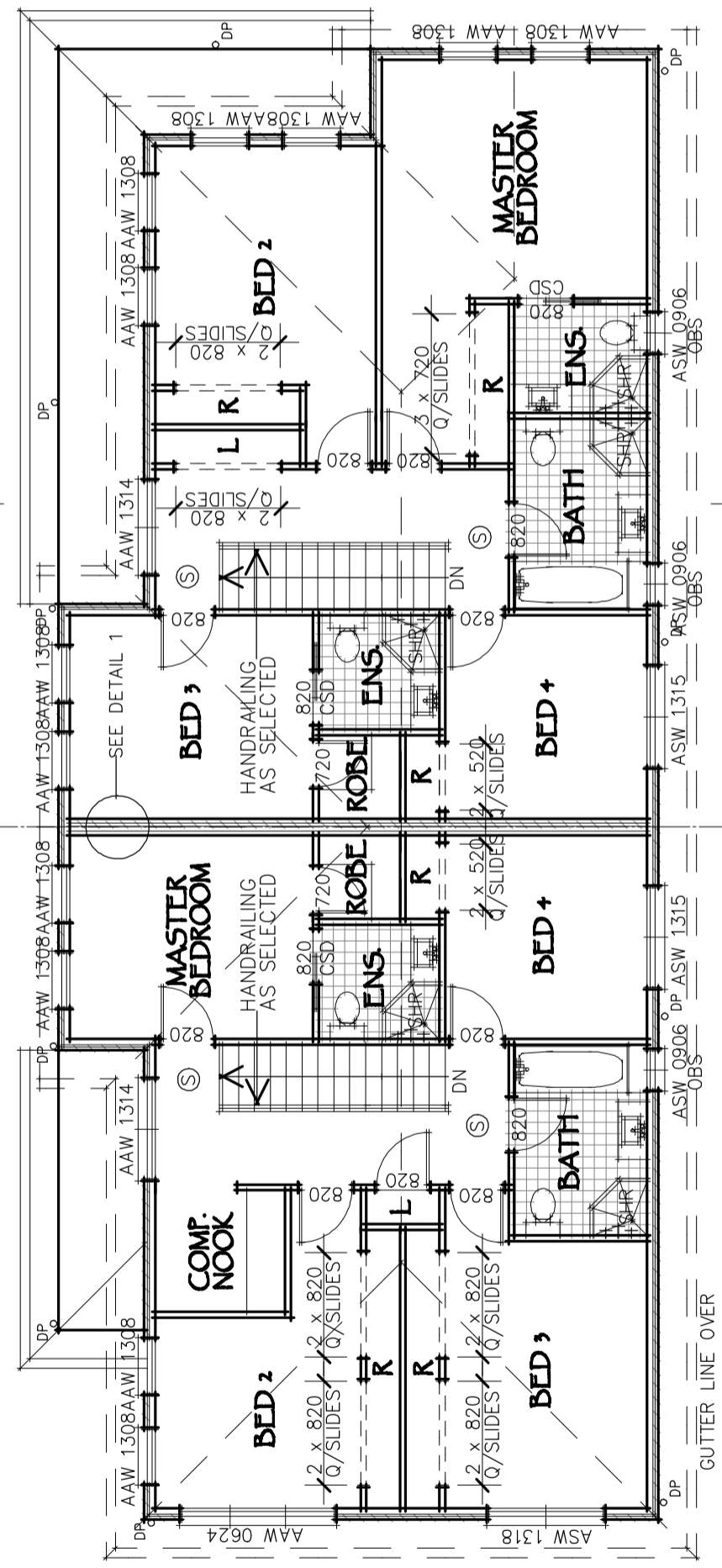
**UNIT 1**

**UNIT 2**

ALL LIGHT FITTINGS TO BE INSTALLED WITH EITHER A RED OR FLUORESCENT GLOBE TO THE FIXTURE

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK

HOT WATER SYSTEM TO BE A RHEEM INSTANTANEOUS 24L MIN GAS UNIT OR EQUIV. MIN. 3 STAR SYSTEM



DOWNPIPE LOCATIONS ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE BEFORE WORK COMMENCES

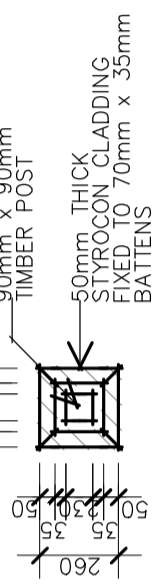
NO VENTILATED DOWNLIGHTS TO BE INSTALLED UNLESS OTHERWISE NOTED. IF DOWNLIGHTS ARE TO BE INSTALLED THEY MUST BE CEILING DOWNLIGHTS WITH CEILING FOLLOWING CEILING INSULATION TO COVER

ALL OPENABLE BEDROOM WINDOWS 2 METRES OR GREATER ABOVE THE SURFACE BELOW AND ALL WINDOWS GREATER THAN 4 METRES ABOVE THE SURFACE BELOW TO BE FITTED WITH CHILD RESISTANT MECHANISM OR SUITABLE SCREEN SO A 125mm SPHERE CANNOT PASS THROUGH.

**UPPER FLOOR PLAN**  
SCALE 1:100

CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUST. AND OTHER RELEVANT AUSTRALIAN STANDARDS

A MIN. 3-3.5 STAR RATED DUCTED REVERSE CYCLE AIR CONDITIONING TO BE INSTALLED TO ALL LIVING ROOMS AND BEDROOMS



**DETAIL 2**  
SCALE 1:25  
FRL 90/90/90

**NOTES:**  
Levels shown are approximate only and should be verified on site before work commences.  
Figured dimensions are to be used in preference to scaling.  
All measurements are in millimetres unless otherwise stated.  
Window sizes are nominal only. Final window schedule by builder.  
Graniteguard termite barrier to perimeter unless otherwise noted.  
All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 0000670820  
Assessor Name: Reginald Hawkins  
Accreditation no.: 20072  
Certificate date: 07 August 2016

**5.8**  
Average star rating  
**NATIONWIDE HOUSE**  
3.5 to 5.5 star rating  
www.natwide.gov.au

23 Burragarang Street,  
The Oaks, NSW  
2570  
www.natwide.gov.au

**ABS** - Class 1 Buildings  
100 Years of Excellence  
Member since 1972  
Member No: 107220025  
Assessor Name: Reginald Hawkins  
Assessor No: 20072  
Assessor Grant: 144  
Member since 1972  
Member No: 107220025  
Assessor Name: Reginald Hawkins  
Assessor No: 20072  
Assessor Grant: 144

C	DA ISSUE. (R.H.)	21-7-16.
ISSUE	AMENDMENT	DATE
CLIENT:	<b>MR &amp; MRS GORDON</b>	

**PROPOSED STYROCRETE VENEER UNITS**

**JOB:**

23 Burragarang Street, The Oaks NSW 2570  
LOT: 1 DP: 542003 AREA: 1255sqm  
LGA: Wollondilly Shire Council  
Proud Designer of

SCALE:	<b>1:100</b>	DATE:	<b>21-6-16.</b>
DRAWING No:	<b>1968-2</b>	DRAWN: ISSUE:	<b>T.H. C</b>



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- All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 060670620  
 Assessor Name: Reginald Hawkins  
 Accreditation no.: 20012  
 Certificate date: 01 August 2016

5.8  
 Average star rating  
 www.nathans.gov.au

NATIONWIDE HOUSE  
 www.nathans.gov.au

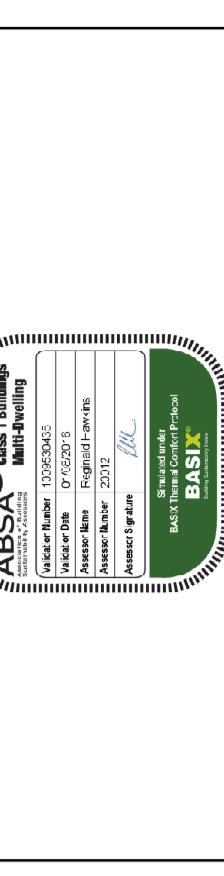
23 Burragarang Street,  
 The Oaks, NSW  
 2570

www.nathans.gov.au

ABS Class 1 Building Multi-levelling  
 Licence Number: 132063453  
 Licence Date: 07/02/2018  
 Licence Valid Until: 22/12/2021  
 Licence Status: Active  
 Licence Type: Multi-levelling  
 Licence Category: Class 1 Building

www.nathans.gov.au

www.nathans.gov.au



C	DA ISSUE (R.H.)	28-7-16
ISSUE	AMENDMENT	DATE
CLIENT:		

**MR & MRS GORDON**

**JOB:**  
**PROPOSED STYROCRETE VENEER UNITS**

23 Burragarang Street, The Oaks NSW 2570  
 LOT: 1 DP: 542003 AREA: 1259sqm  
 LGA: Wollondilly Shire Council

SCALE: **1:100**  
 DATE: **21-6-16.**  
 DRAWING No: **1968-6**  
 DRAWN: **T.H.**  
 ISSUE: **E**

Provided designer of:

WINNER 2010  
 HIA NSW  
 Spec: Home of the Year

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 Email: design@reggiesdesign.com.au

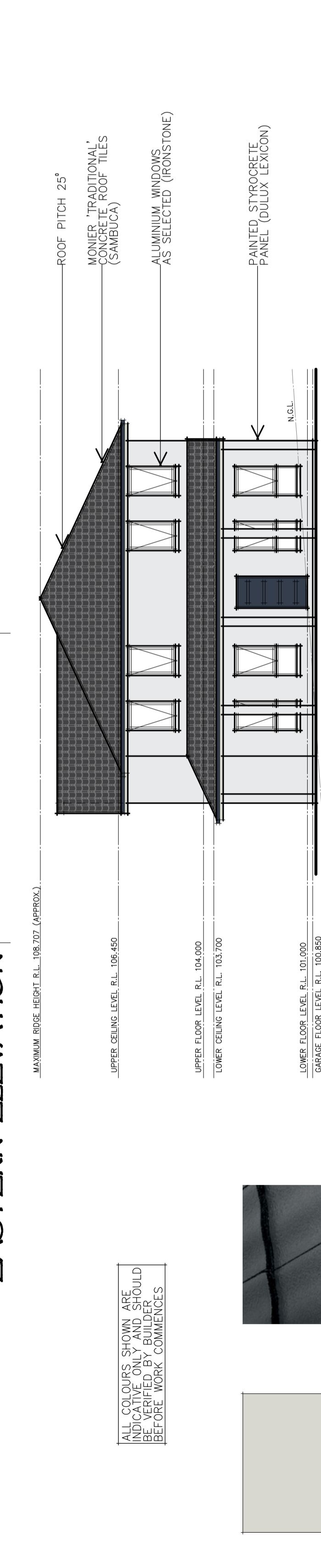
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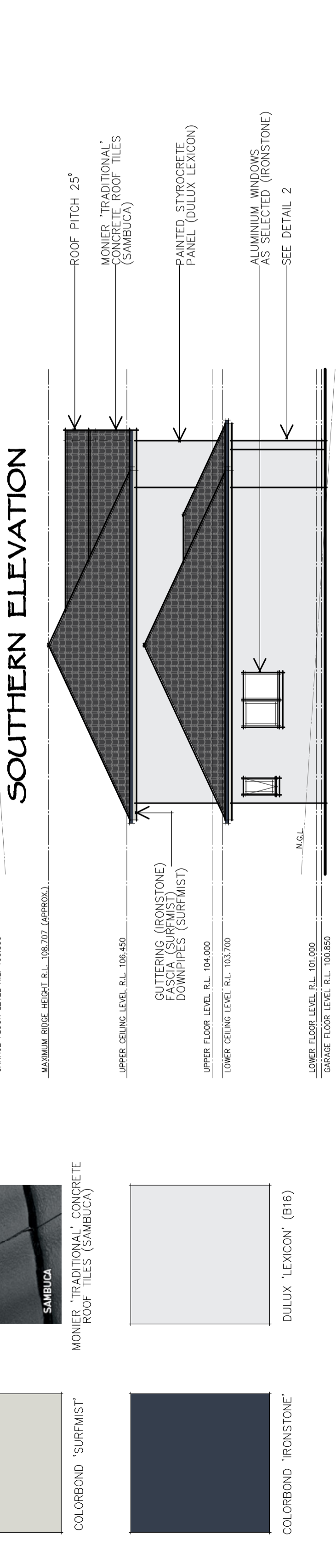
**WESTERN ELEVATION**



**EASTERN ELEVATION**

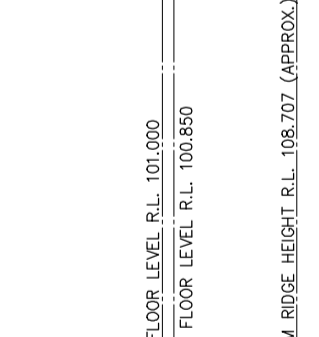
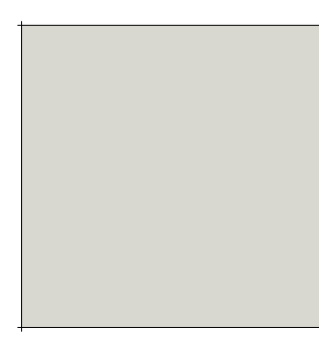


**SOUTHERN ELEVATION**

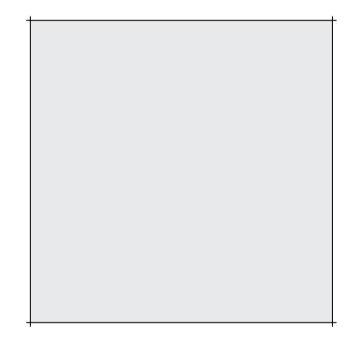


**NORTHERN ELEVATION**

ALL COLOURS SHOWN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED BY BUILDER BEFORE WORK COMMENCES



MONIER 'TRADITIONAL' CONCRETE ROOF TILES (SAMBUCA)



GUTTERING (IRONSTONE) FASCIA (SURFMIST) DOWNPIPES (SURFMIST)

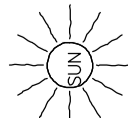
COLORBOND 'IRONSTONE'



R1.5 INSULATION & VAPOUR PERMEABLE SARKING TO WALLS  
R3.5 INSULATION TO CEILING  
SARKING TO U.S. OF TILES

WEATHERSTRIPPING TO ALL EXTERNAL DOORS & WINDOWS

BATHROOM TAPS - 4 STAR  
SHOWERHEADS - 3 STAR  
KITCHEN TAPS - 4 STAR  
TOILETS - 4 STAR

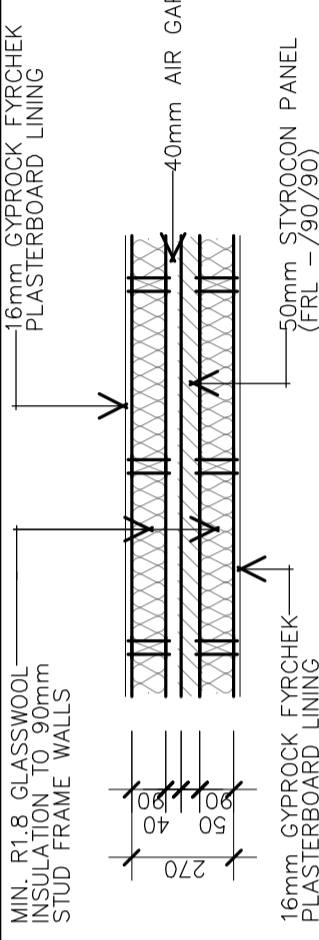
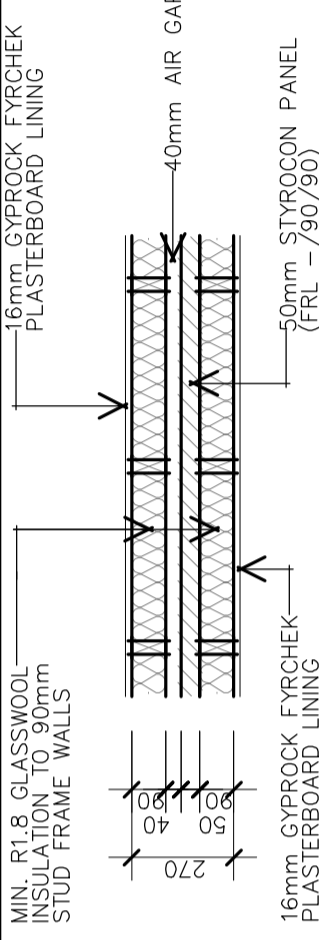


UNIT 3  
ADAPTABLE DWELLING

UNIT 4

UNIT 5

**DETAIL 1**  
SCALE 1:20  
Rw 69, Rw+Ctr 55 (+/-3) WITH STANDARD 13mm PLASTERBOARD  
REPORT BY INSUL DATED 25/1/13  
EXCEEDS CSR 556(b)



**NOTES:**

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- All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.



Certificate no: 00087823  
Assessor Name: Reginald Hewit's  
Accepted on: 2002  
Certificate date: 01 August 2016  
Dwelling Address: 23 Burragarang Street, The Oaks, NSW 2570



C	DA ISSUE (R.H.)	28-7-16
ISSUE	AMENDMENT	DATE
CLIENT: <b>MR &amp; MRS GORDON</b>		

JOB:

**PROPOSED STYROCRETE VENEER UNITS**

23 Burragarang Street, The Oaks NSW 2570

LOT: 1 DP: 542003 AREA: 1259sqm

LGA: Wollondilly Shire Council

Scale Designer:

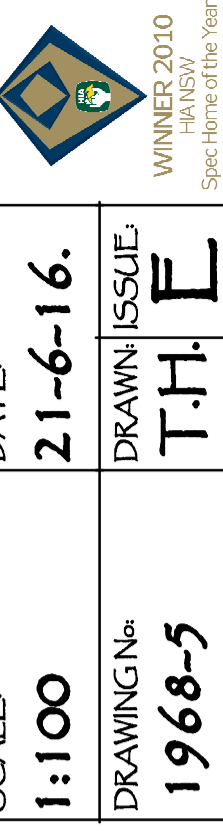
SCALE: **1:100**

DATE: **21-6-16.**

DRAWN: **T.H.**

ISSUE: **E**

DRAWING No: **1968-5**

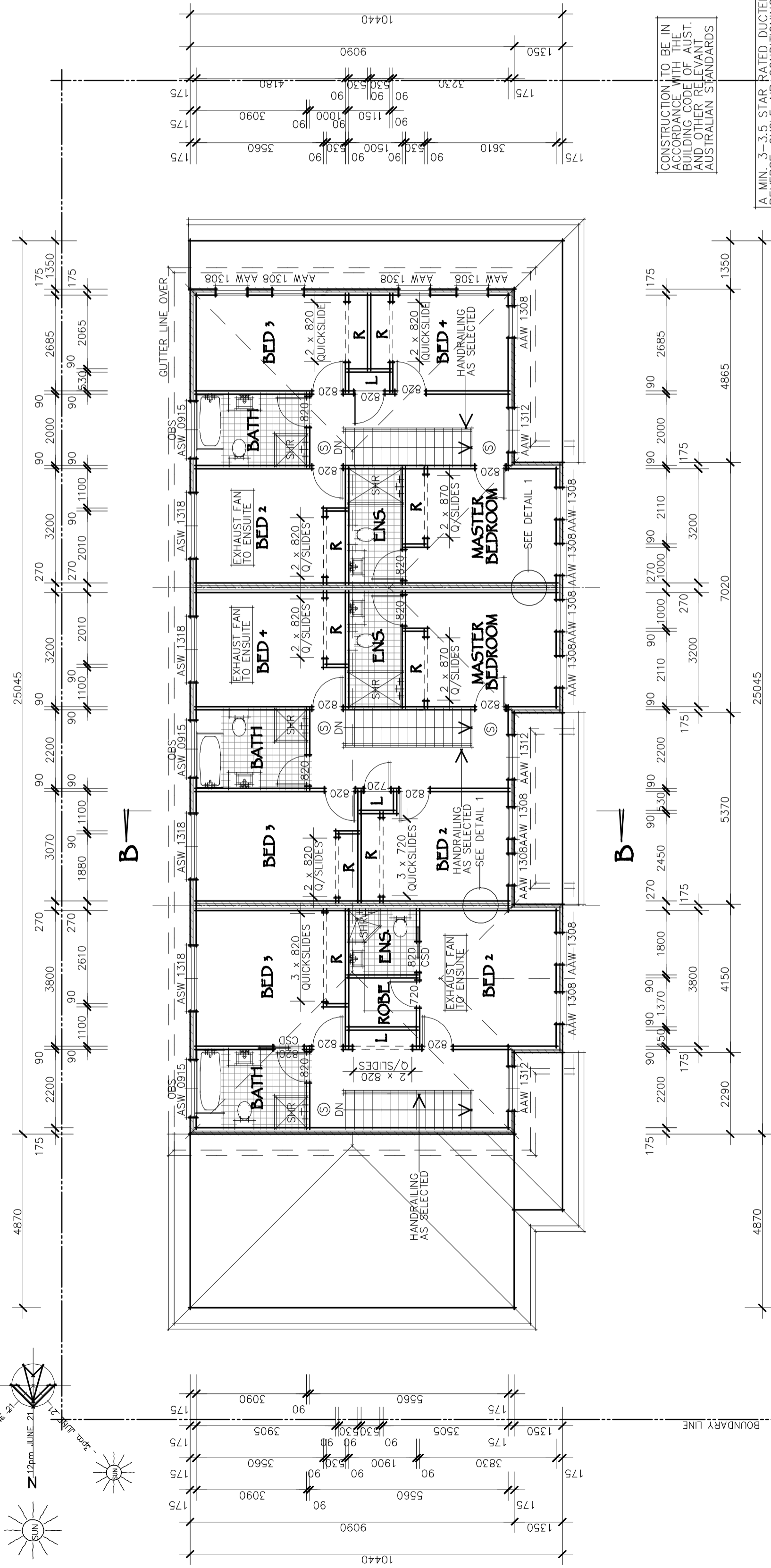


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Shop 2/209 Great Southern Road, Baigo NSW 2574  
Phone: 4684 3747 • Fax: 4684 3748 • Mobile: 0438 843 748  
Email: cesign@reggiesdesign.com.au

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**UPPER FLOOR PLAN**  
SCALE 1:100

NO VENTILATED DOWNLIGHTS TO BE INSTALLED UNLESS DOWNLIGHTS ARE TO BE INSTALLED. THEY MUST BE COVER ALLOWING CEILING INSULATION TO COVER

ALL LIGHT FITTINGS TO BE INSTALLED WITH EITHER A LED OR FLUORESCENT GLOBE TO THE FIXTURE

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK

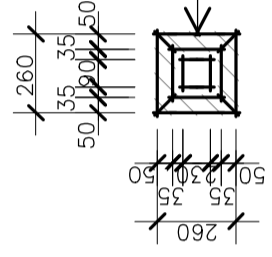
HOT WATER SYSTEM TO BE A RHEEM INSTANTANEOUS 24L/MIN. GAS UNIT OR EQUIV. MIN. 5 STAR SYSTEM

ALL OPENABLE BEDROOM WINDOWS 2 METRES OR GREATER ABOVE THE SURFACE BELOW AND ALL WINDOWS GREATER THAN 4 METRES ABOVE THE SURFACE BELOW TO BE FITTED WITH CHILD RESISTANT MECHANISM OR SUITABLE SCREEN SO A 125mm SPHERE CANNOT PASS THROUGH.

⑤ - SMOKE DETECTORS

CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT AUSTRALIAN STANDARDS

A MIN. 3.5 STAR RATED DUCTED REVERSE CYCLE AIR CONDITIONING UNIT TO BE INSTALLED TO ALL LIVING ROOMS AND BEDROOMS



**DETAIL 2**  
SCALE 1:20  
FRL 90/90/90



**GARDEN BEDS:**  
 THEY SHALL BE EXCAVATED SUFFICIENTLY ENOUGH TO ALLOW FOR NO LESS THAN 300mm DEEP OF PREMIUM ORGANIC GARDEN SOIL MIX TO BE APPLIED. PREVIOUS TO THIS THE CLAY SUB-BASE SHALL HAVE AN APPLICATION OF GYPSSUM TO THE MANUFACTURERS SPECIFICATIONS.

**GARDEN EDGES:**  
 THEY SHALL BE CONSTRUCTED WITH 100mm x 25mm TREATED PINE BOARDS. THESE SHOULD BE FIXED TO POINT GALVANISED FIXINGS. (50mm x 50mm) WITH GALVANISED

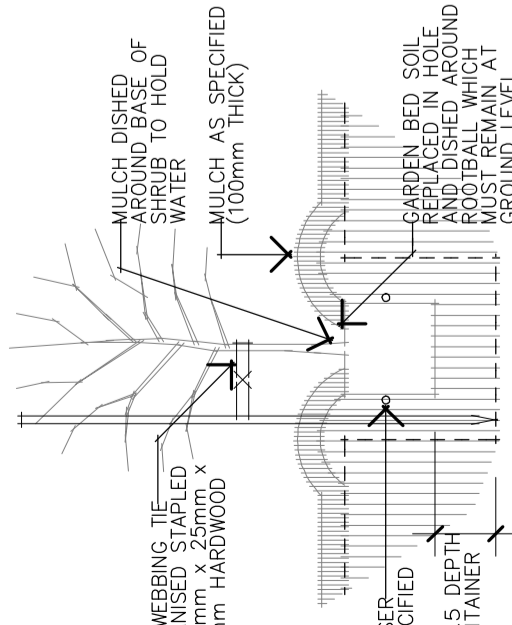
**PLANTS:**  
 ENSURE ALL PLANTS ARE NOT ROOTBOUND WITHIN THE POT OR BAG, BADLY STAKED OR BROKEN IN THE GROWING TIP. IF SO, THEY SHOULD BE REJECTED AND NEW STOCK SOURCED. DO NOT DISTURB ROOTS AND PLANT ALL PLANTS AS PER DETAILS. WATER PLANTS THOROUGHLY UPON PLANTING AND ENSURE PLANTS ARE WATERED DAILY IF NOT PLANTED AFTER DELIVERY. THE PLANTS SHALL BE STAKED AND FERTILISED AS DETAILED.

**FERTILISER:**  
 ALL ADVANCED TREES ie: 300mm POTS TO 100LIR BAGS, SHALL BE FERTILISED BY MEANS OF ADDING 200g OF OSMOCOTE, OR EQUIVALENT IN THE BACKFILL AFTER ALL HANDFULS OF MULCH HAVE BEEN APPLIED. ALL OTHER SHRUBS SHALL BE FERTILISED BY THE SAME METHOD WITH ONLY 100g OF OSMOCOTE.

**MULCH:**  
 MULCH SHALL BE INSTALLED TO ALL GARDEN BED AREAS AS DETAILED AT LEAST 100mm THICK. THE MULCH SHOULD BE OF A FINE GRADE, NOT BIGGER THAN 15mm. REFERABLY PINE BARK. ENSURE THE MULCH DOES NOT BUILD UP AROUND THE PLANTS STEM AFTER INSTALLATION.

**TURF:**  
 THE VARIETY OF TURF USED CAN BE AT THE DISCRETION OF THE BUILDER, HOWEVER, IT IS RECOMMENDED KIKUYU OR PALMETTO IS USED. ALL AREAS TO BE TURFED ARE TO BE PREPARED WITH AT LEAST 30mm OF TURF UNDERLAY REFERABLE TO THE MULCH SHOWN IN THE DETAILS. AFTER PLANTING THE TURF SHOULD BE WATERED THOROUGHLY DAILY UNTIL EXTENSIVE ROOT GROWTH IS ESTABLISHED. MOWING SHALL COMMENCE BETWEEN 2 AND 4 WEEKS AFTER ROOT GROWTH.

**MAINTENANCE PERIOD:**  
 THE COMPLETE MAINTENANCE OF THE GARDENS AND TURF SHALL PROCEED FOR PERIOD OF 6 MONTHS UP UNTIL THE CLIENTS MAKE FINAL POSSESSION. IT SHALL INCLUDE AND WATERING. THE WATERING SHOULD OCCUR DAILY FOR ONE WEEK PERIOD AFTER COMPLETION AND ONCE WEEKLY THEREAFTER. EXTREME WEATHER MAY REQUIRE THIS TO BE INCREASED OR DECREASED AS NECESSARY WHERE PLANTS ARE INSTALLED TO PROVIDE A HEDGE. THEY SHALL BE PRUNED TO INITIATE SUCH GROWTH.



**150mm POT + 1L POTS  
 IN PREPARED GARDEN BED  
 SCALE 1:25**

**CALCULATIONS:**

SITE COVER:	75% OF SITE
MAXIMUM SITE COVER =	941.25sqm
MINIMUM SITE COVER =	833.36sqm (COMPLIES)

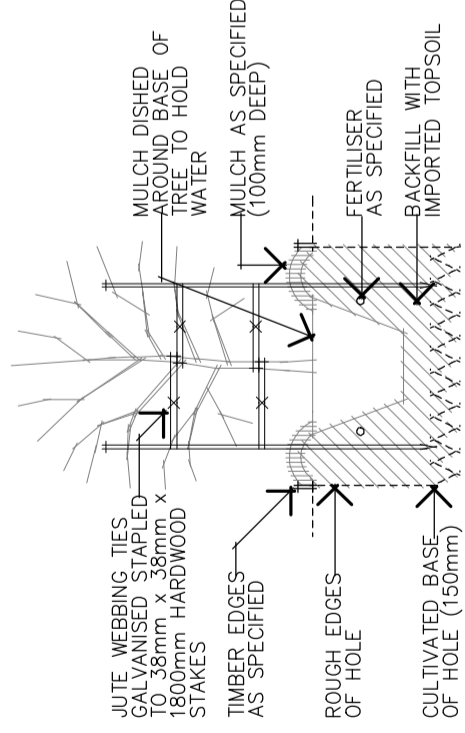
**LANDSCAPED AREA:**

MINIMUM FORMAL LANDSCAPED AREA OF 10% SITE AREA	94.125sqm
MINIMUM FORMAL LANDSCAPED AREA	129.00sqm (COMPLIES)
FORMAL LANDSCAPED AREA =	421.64sqm (COMPLIES)

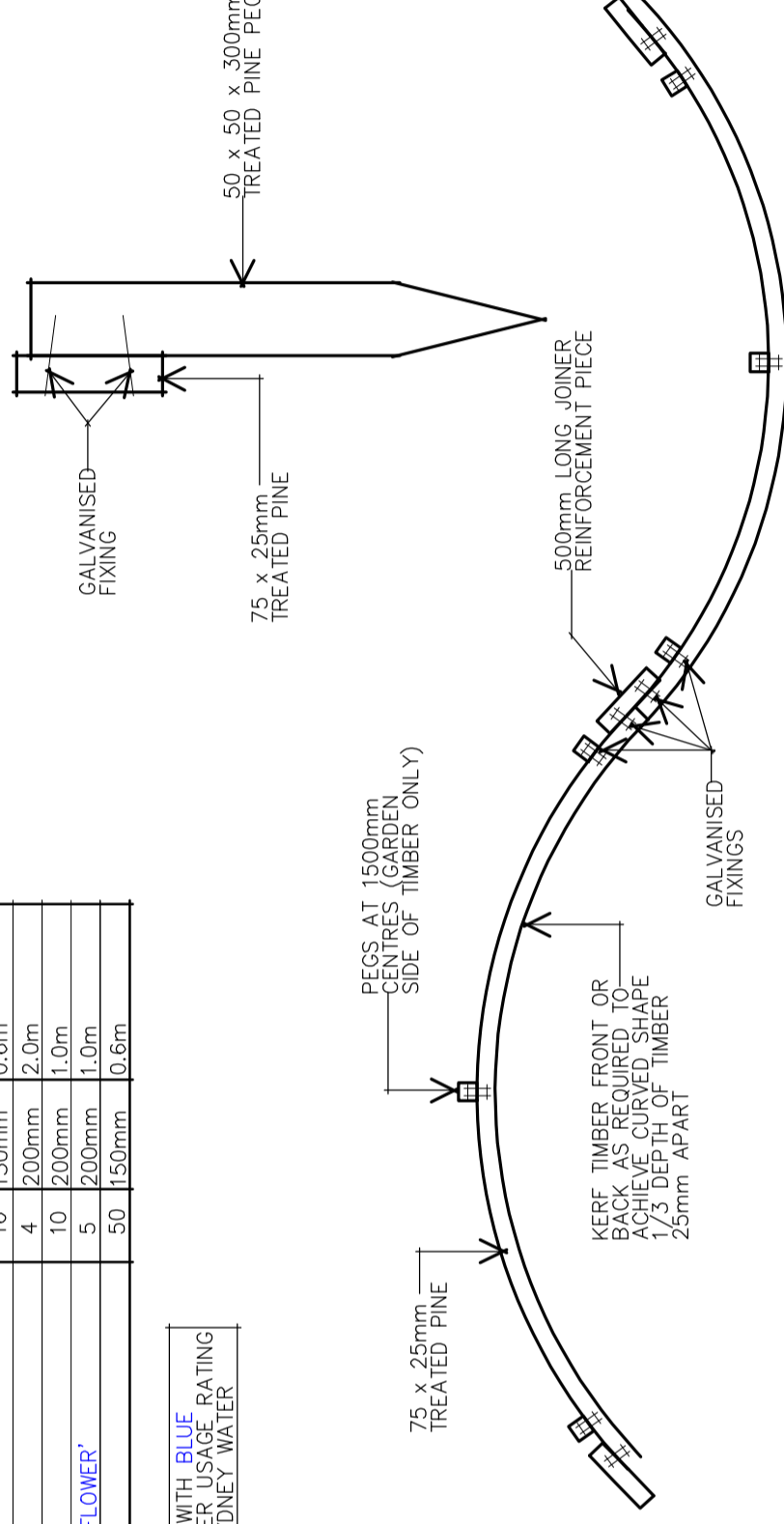
**PLANT LIST**

No.	SPECIES	QTY.	SIZE	MAT. HGT.
TL	TRISTANIOPSIS LAURINA 'WATER GUM'	2	45L TR	10.0m
LI	LAGERSTROMIA INDICA 'CREPE MYRTLE'	2	45L TR	6.0m
SP	SYZIGIUM PANICULATUM (SELECT) 'LILLY PILLY'	24	200mm	1.0m (HEDGED)
TT	LEPTOSPERMUM JUNIPERINUM 'PRICKLY TEA TREE'	12	200mm	2.0m
VB	VIBURNUM TINUS	18	200mm	2.5m
LL	LOMANDRA LONGIFOLIA 'MAY RUSH'	16	150mm	0.6m
AG	ABELIA GRANDIFLORA 'ABELIA'	4	200mm	2.0m
RI	RAPHIOLEPIS INDICA 'INDIAN HAWTHORNE'	10	200mm	1.0m
EM	ERIOSTEMON MYOPOIODES 'LONG-LEAF WAX FLOWER'	5	200mm	1.0m
AA	AGAPANTHUS AFRICANUS 'AGAPANTHUS'	50	150mm	0.6m

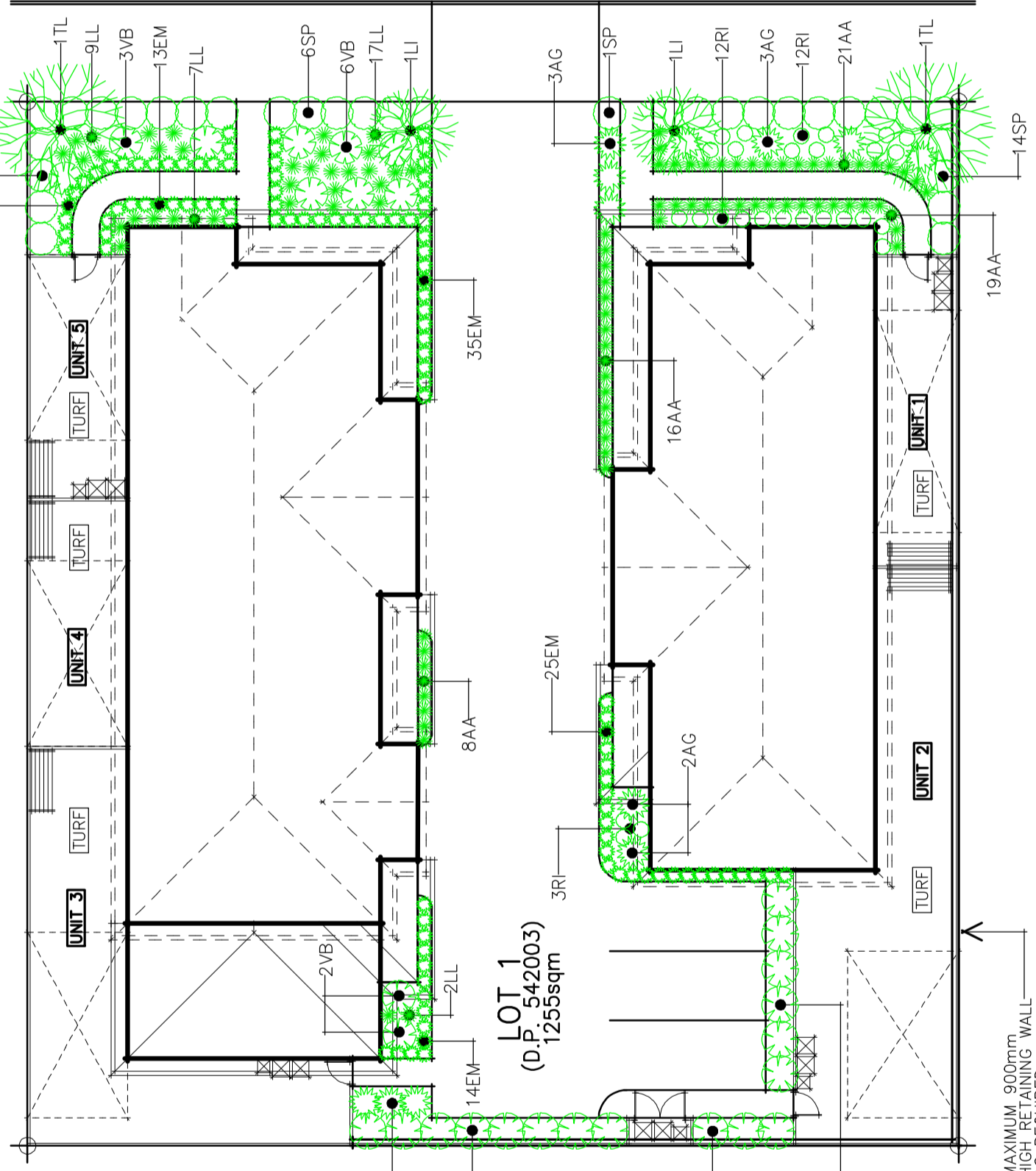
SPECIES MARKED WITH BLUE HAVE LOW WATER USAGE RATING ACCORDING TO SYDNEY WATER



**ADVANCED TREES PLANTED  
 IN GRASSED AREA + TREE GUARD  
 SCALE 1:50**



**TIMBER EDGING DETAIL  
 NOT TO SCALE**



**LANDSCAPE PLAN  
 SCALE 1:200**

**NOTES:**

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- Figured dimensions are to be used in preference to scaling.
- All measurements are in millimetres unless otherwise stated.
- Window sizes are nominal only. Final window schedule by builder.
- Graniteguard termite barrier to perimeter unless otherwise noted.
- All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

**ISSUE:** 28-7-16  
**DATE:** 28-7-16  
**AMENDMENT:**  
**CLIENT:** MR & MRS GORDON

**JOB:** PROPOSED MULTIUNIT DEVELOPMENT

23 Burragarang Street The Oaks NSW 2570  
 LOT: 1 DF: 542003 AREA: 1255sqm  
 LGA: Wollondilly Shire Council

**SCALE:** As Shown  
**DATE:** 20-4-16  
**DRAWN/ISSUE:** T.H. C  
**DRAWING No:** 1968-9

**REGGIE'S**  
 RESIDENTIAL DESIGN & DRAFTING  
 "SPECIALISING IN EXCLUSIVE LUXURY HOMES"  
 WINNER 2010 HANSW Spec Home of the Year  
 Shop 2/209 Great Southern Road, Bargo, NSW 2574  
 Phone: 4684 3747 • Fax: 4684 3748 • Mobile: 0438 843 748  
 Email: design@reggiesdesign.com.au

© Reggie's Residential Design & Drafting



**NOTES:**

- Levels shown are approximate only and should be verified on site before work commences.
- Figured dimensions are to be used in preference to scaling.
- All measurements are in millimetres unless otherwise stated.
- Window sizes are nominal only. Final window schedule by builder.
- Graniteguard termite barrier to perimeter unless otherwise noted.
- All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 0000670820  
 Reginald Hawkins  
 Assessor Name: 20072  
 Accreditation no.: 01 August 2018  
 Certificate date:

**5.8**  
 Average star rating

**NATIONWIDE HOUSE**  
 (RATED BY NATIONWIDE HOUSE)

23 Burragorang Street  
 The Oaks, NSW  
 2570  
 www.natwide.gov.au

**ABS** Class 1 Building  
 Built-Permitting  
 Licence No: 102620005  
 Licence Exp: 31/03/2018  
 Assessor No: Reginald Hawkins  
 Assessor Name: 2017  
 Assessor Exp: 2017  
 Assessor No: 2017  
 Assessor Name: 2017  
 Assessor Exp: 2017

**BASIS**  
 Building Approval System  
 Licence No: 102620005  
 Licence Exp: 31/03/2018

ISSUE	AMENDMENT	DATE
C		28-7-16

CLIENT: **MR & MRS GORDON**

JOB: **PROPOSED STYROCRETE VENEER UNITS**

23 Burragorang Street, The Oaks NSW 2570

LOT: 1 Df: 542003 AREA: 1255sqm

LGA: Wollondilly Shire Council

SCALE: **1:100**

DATE: **21-6-16.**

DRAWN: **T.H. C**

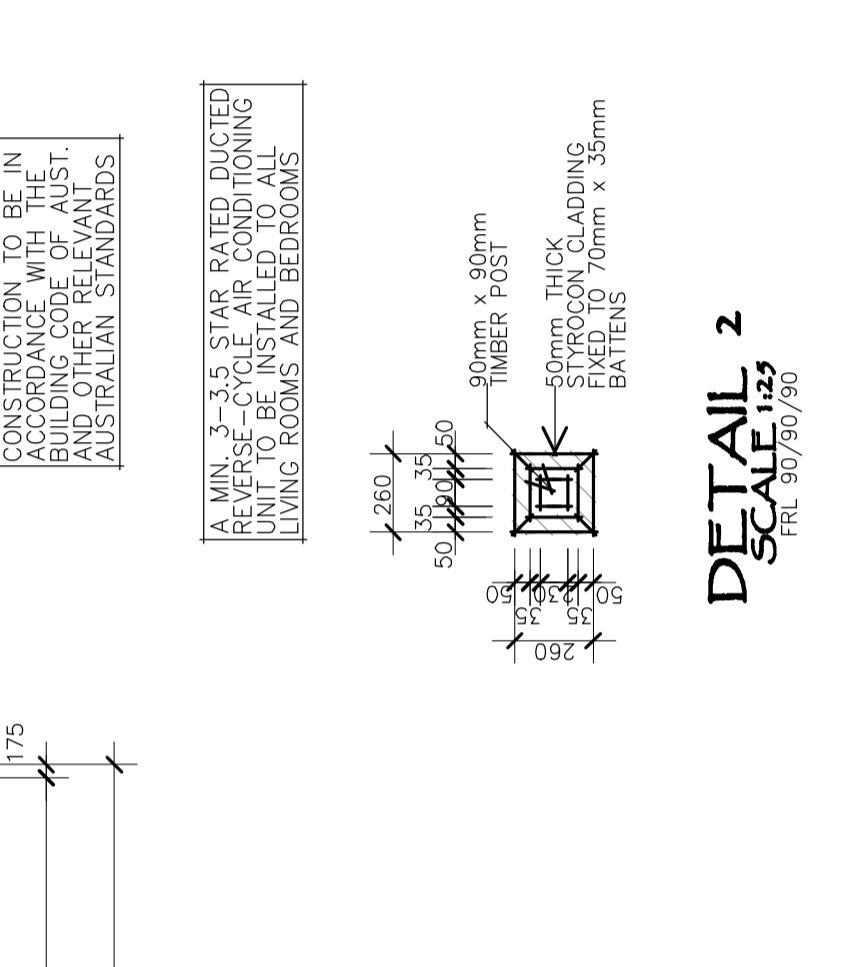
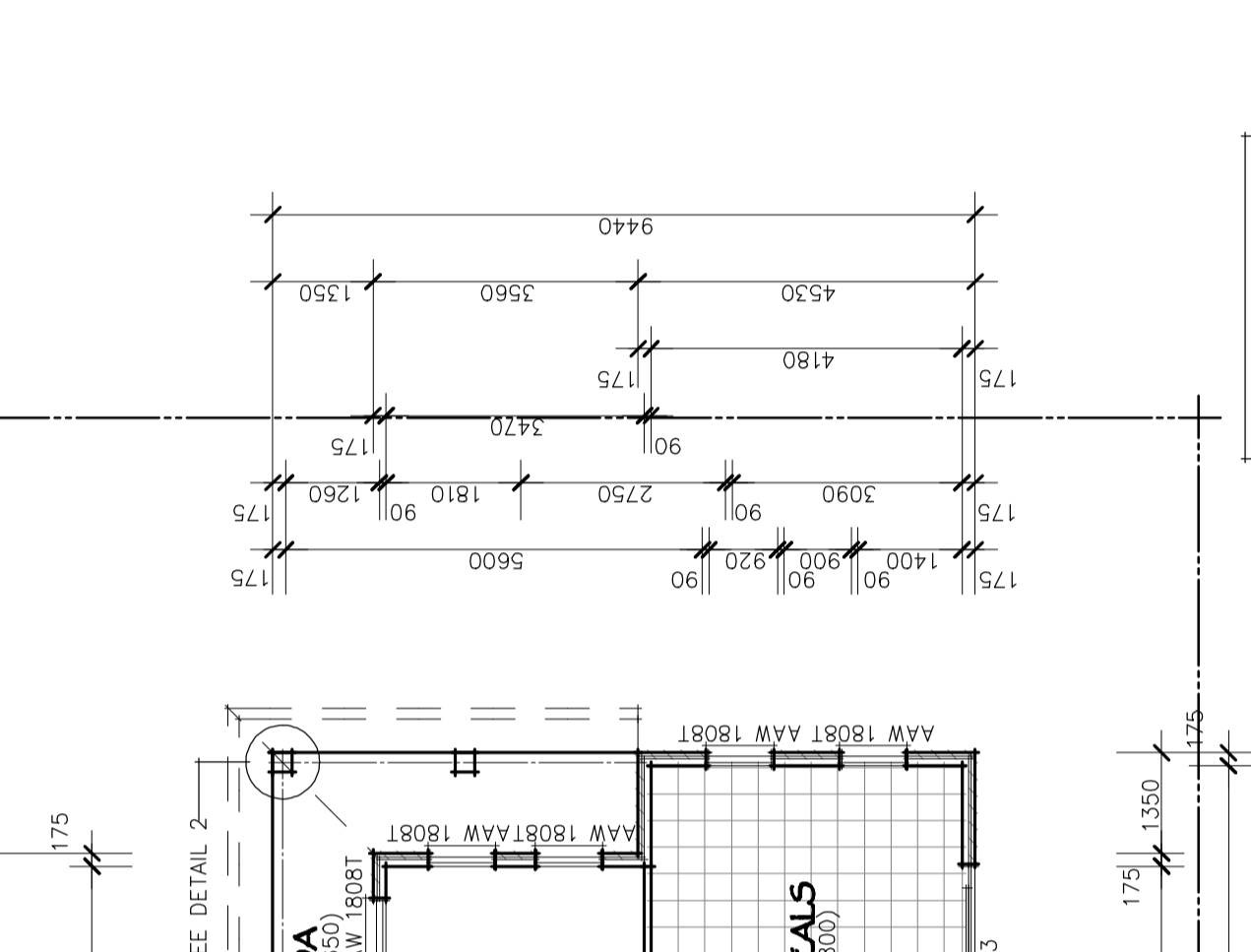
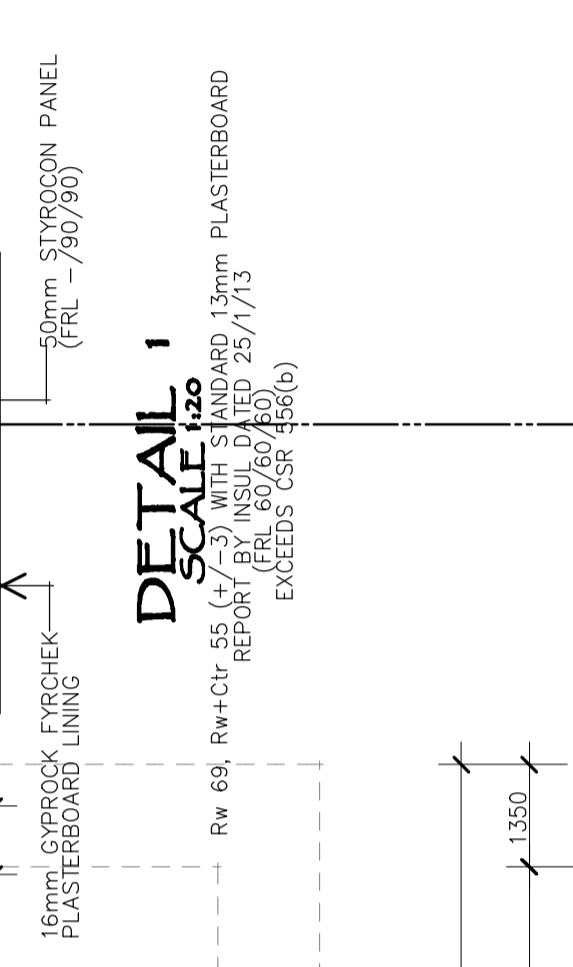
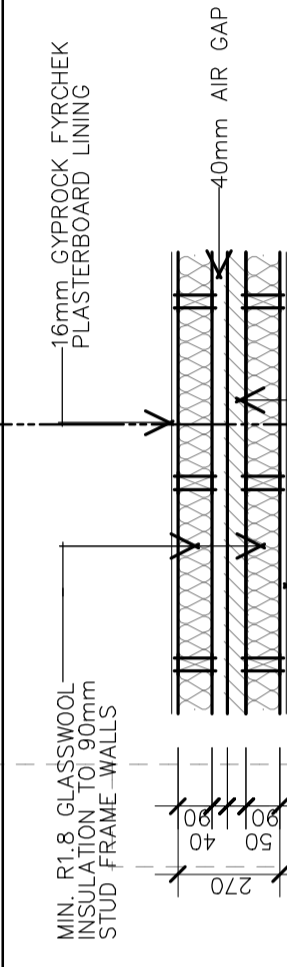
ISSUE: **1968-1**

PROUD DESIGNER OF: **REGGIE'S RESIDENTIAL DESIGN & DRAFTING**

WINNER 2010 HANNSW Spec Home of the Year

FO Box 222, 3argo NSW 2574  
 Shop 2/209 Great Southern Road, Bargo NSW 2574  
 Phone: 4684 3747 • Fax: 4684 3748 • Mobile: 0438 843 748  
 Email: design@reggiesdesign.com.au

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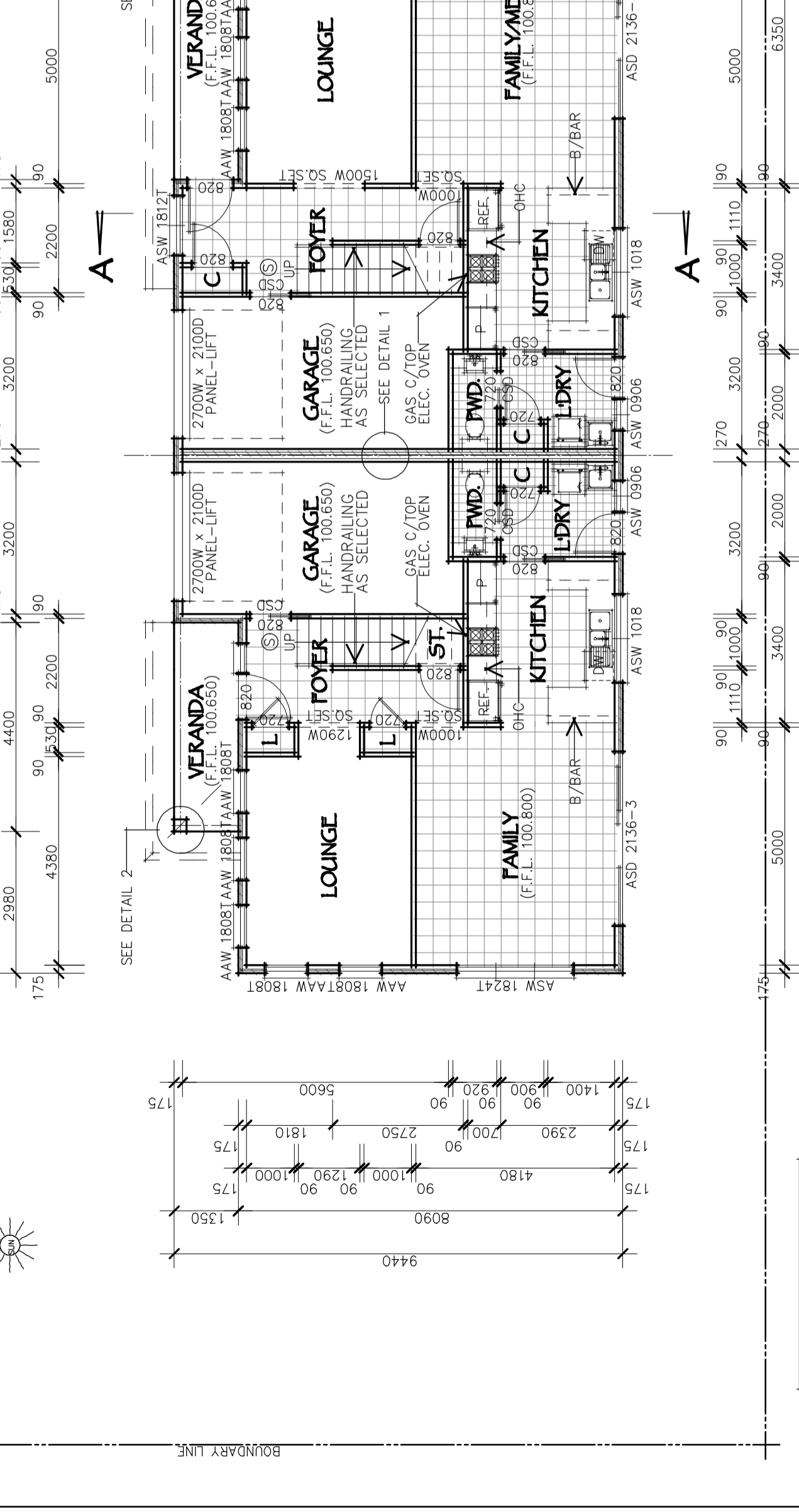
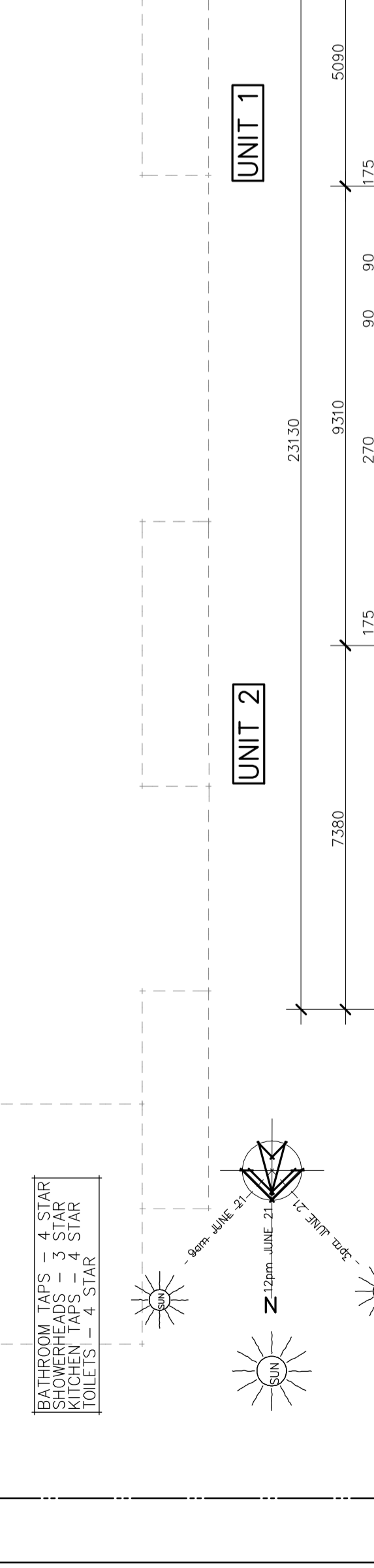


R1.5 INSULATION & VAPOUR PERMEABLE SARKING TO WALLS  
 R3.5 INSULATION TO CEILING SARKING TO U.S. OF TILES

WEATHERSTRIPPING TO ALL EXTERNAL DOORS & WINDOWS

BATHROOM TAPS - 4 STAR  
 SHOWERHEADS - 3 STAR  
 KITCHEN TAPS - 4 STAR  
 TOILETS - 4 STAR

9am JUNE 21  
 Z 12pm JUNE 21  
 3pm JUNE 21

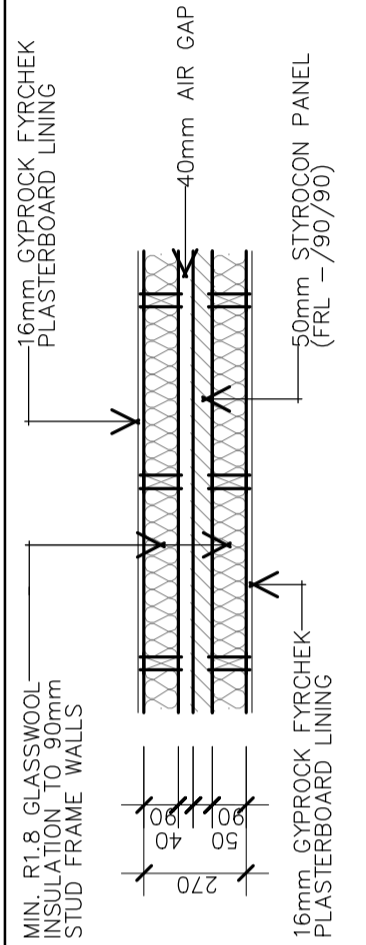


UNIT 1 FLOOR AREA:	
LOWER FLOOR	82.44m <sup>2</sup>
UPPER FLOOR	98.95m <sup>2</sup>
VERANDA	13.50m <sup>2</sup>
GARAGE	19.60m <sup>2</sup>
TOTAL	214.49m <sup>2</sup> (23.09sq)

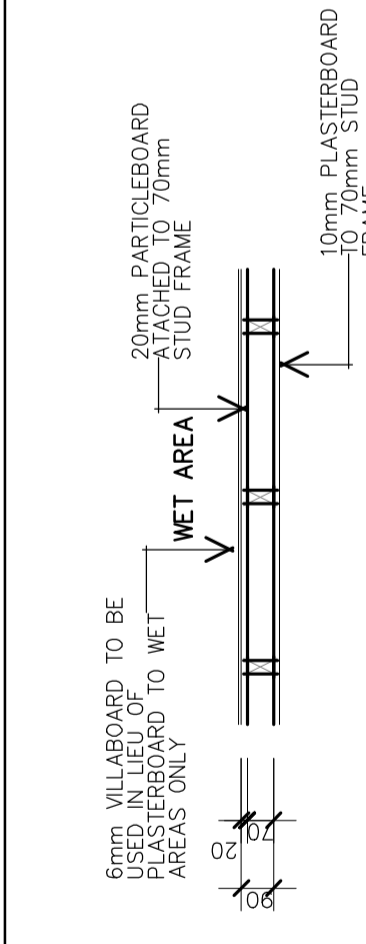
UNIT 2 FLOOR AREA:	
LOWER FLOOR	73.00m <sup>2</sup>
UPPER FLOOR	92.84m <sup>2</sup>
VERANDA	5.84m <sup>2</sup>
GARAGE	19.84m <sup>2</sup>
TOTAL	191.52m <sup>2</sup> (20.63sq)





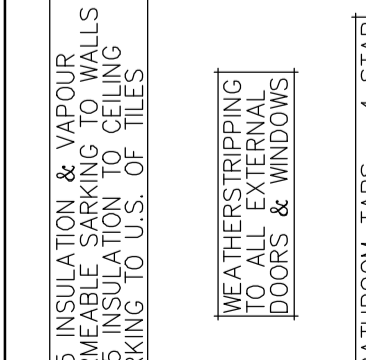
**DETAIL 1**  
SCALE 1:20

Rw 69, Rw+Ctr.55 (+/-3) WITH STANDARD 13mm PLASTERBOARD REPORT BY INSULATED 25/1/15 EXCEEDS CSR 556(b)



**DETAIL 3**  
SCALE 1:20

(TO BATHROOM WALLS IN UNIT 3 ONLY)



**DETAIL 5**

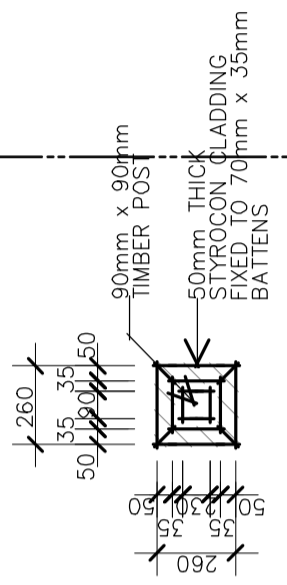
ALL LIGHT FITTINGS TO BE INSTALLED WITH EITHER A LED OR FLUORESCENT GLOBE TO THE FIXTURE

ALL DIMENSIONS ARE TO BE VERIFIED ON-SITE BEFORE COMMENCEMENT OF WORK

HOT WATER SYSTEM TO BE A RHEEM INSTANTANEOUS 24L/MIN. GAS UNIT OR EQUIV. MIN. 5 STAR SYSTEM

CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUST. AND OTHER RELEVANT AUSTRALIAN STANDARDS

A MIN. 3-3.5 STAR RATED DUCTED REVERSE-CYCLE AIR CONDITIONING UNIT TO BE INSTALLED TO ALL LIVING ROOMS AND BEDROOMS



**DETAIL 2**  
SCALE 1:25

R1.5 INSULATION & VAPOUR PERMEABLE SARKING TO WALLS  
R3.5 INSULATION TO CEILING SARKING TO U.S. OF TILES

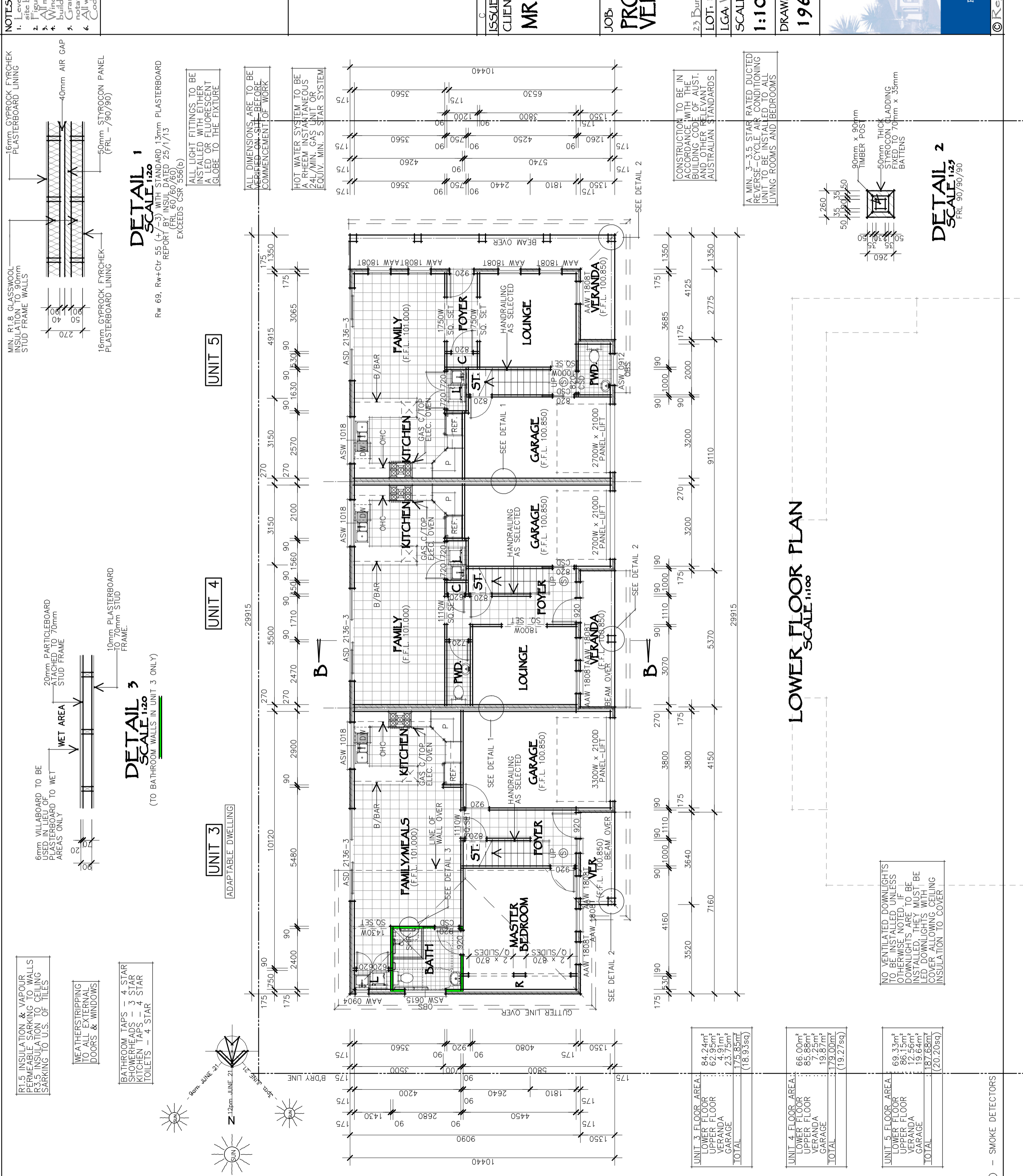
WEATHERSTRIPPING TO ALL EXTERNAL DOORS & WINDOWS

BATHROOM TAPS - 4 STAR  
SHOWERHEADS - 3 STAR  
KITCHEN TAPS - 4 STAR  
TOILETS - 4 STAR

UNIT 3  
ADAPTABLE DWELLING

UNIT 4

UNIT 5



**LOWER FLOOR PLAN**  
SCALE 1:100

NO VENTILATED DOWNLIGHTS TO BE INSTALLED UNLESS OTHERWISE NOTED. IF DOWNLIGHTS ARE TO BE INSTALLED, THEY MUST BE LED DOWNLIGHTS WITH COVER ALLOWING CEILING INSULATION TO COVER

UNIT 3 FLOOR AREA:	
LOWER FLOOR	84.24m <sup>2</sup>
UPPER FLOOR	62.65m <sup>2</sup>
VERANDA	4.91m <sup>2</sup>
GARAGE	23.75m <sup>2</sup>
TOTAL	175.55m <sup>2</sup> (18.93sq)

UNIT 4 FLOOR AREA:	
LOWER FLOOR	66.00m <sup>2</sup>
UPPER FLOOR	85.88m <sup>2</sup>
VERANDA	7.25m <sup>2</sup>
GARAGE	19.87m <sup>2</sup>
TOTAL	179.00m <sup>2</sup> (19.27sq)

UNIT 5 FLOOR AREA:	
LOWER FLOOR	69.33m <sup>2</sup>
UPPER FLOOR	86.15m <sup>2</sup>
VERANDA	12.56m <sup>2</sup>
GARAGE	19.64m <sup>2</sup>
TOTAL	187.68m <sup>2</sup> (20.20sq)

**NOTES:**  
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3. All measurements are in millimetres unless otherwise stated.  
4. Window sizes are nominal only. Final window schedule by builder.  
5. Graniteguard termite barrier to perimeter unless otherwise noted.  
6. All work to be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

Certificate no.: 0000729820  
Assessor Name: Reginald Hawkins  
Accreditation no.: 200/2  
Certificate date: 01 August 2018  
Dwelling Address: 23 Burragarang Street, The Oaks, NSW 2570  
www.nathans.gov.au

**NATIONAL HOUSE**  
AVERAGE STAR RATING: 5.8  
NATHANS GOVT APPROVED CONTRACTOR

**ABS A Class 1 Building**  
Multi-Dwelling  
Builder Name: 020223435  
Builder ID#: 67620715  
Assessor Name: Reginald Hawkins  
Assessor ID#: 2512  
Contract System: All  
ABS A Building for the People  
**BASIX**

C	DA ISSUE (R.H.)	28-7-16	DATE
ISSUE	AMENDMENT		
CLIENT:	<b>MR &amp; MRS GORDON</b>		

**PROPOSED STYROCRETE VENEER UNITS**

23 Burragarang Street, The Oaks NSW 2570  
LOT: 1 DP: 542003 AREA: 12.55sqm  
LGA: Wollondilly Shire Council

Scale: **1:100**  
Date: **21-6-16**  
Drawing No: **1968-4**  
Drawn: **T.H.**  
Issue: **E**

Proud designer of:  
**REGGIE'S**  
RESIDENTIAL DESIGN & DRAFTING  
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FO Box 222, Baigo NSW 2574  
Shop 2/209 Great Southern Road, Baigo NSW 2574  
Phone: 4684 3747 • Fax: 4684 3748 • Mobile: 0438 843 748  
Email: design@reggiesdesign.com.au

**Reggie's Residential Design & Drafting**



# GR8 Attachments

1. Council Report & Minutes to November 2016
2. Meeting Council Report & Minutes to August 2016
3. Meeting Proposed Land Zones Map
4. Proposed Minimum Lot Sizes Map
5. Proposed Height of Building Map

**Monday 11 December 2017**

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GR8 – Stilton Lane Planning Proposal

Planning and Economy

PE3

**Stilton Lane Planning Proposal**

41

TRIM 7142

Cr Deeth left the meeting at 7.04pm due to a previously declared Conflict of Interest in this Item.

The Manager Executive Services left the meeting at 7.04pm and returned at 7.06pm.

234/2016

**Resolved on the Motion of Crs Gould and Landow:**

**That consideration of the Stilton Lane Planning Proposal be deferred to permit further discussion with the proponent regarding the constraint issues raised by Council. The further report to Council shall also include detail relating to:**

- a) **Comments received from the Roads & Maritime Services in relation to the planning proposal**
- b) **Comments received from the Subsidence Advisory Board NSW regarding the co-existence of mining and urban development**
- c) **The cost of preparing an Employment Lands Study and possible funding arrangements**
- d) **Analysis of the Picton Thirlmere Tahmoor precinct showing spatial separation between the towns and villages as a result of land zoning and minimum lot size provisions**
- e) **Further analysis of the options to protect the Cumberland Plain Woodland community found in the western quadrant of the site**
- f) **Further analysis of how the proposal will enable growth whilst retaining consistency with the concept of "Rural Living" outlined in the Wollondilly Growth Management Strategy.**
- g) **Further analysis of how the proposal can minimise land use conflicts, particularly at the interface between the low density residential area and adjoining industrial zone.**

On being put to the meeting the motion was declared CARRIED.

Vote: Crs Khan, Briggs, Banasik, Law, Lowry, Landow, Hannan and Gould

Cr Deeth returned to the meeting at 7.06pm.



Report of Planning and Economy to the Ordinary Meeting of Council held on Monday 21 November 2016

**PE3 - Stilton Lane Planning Proposal**

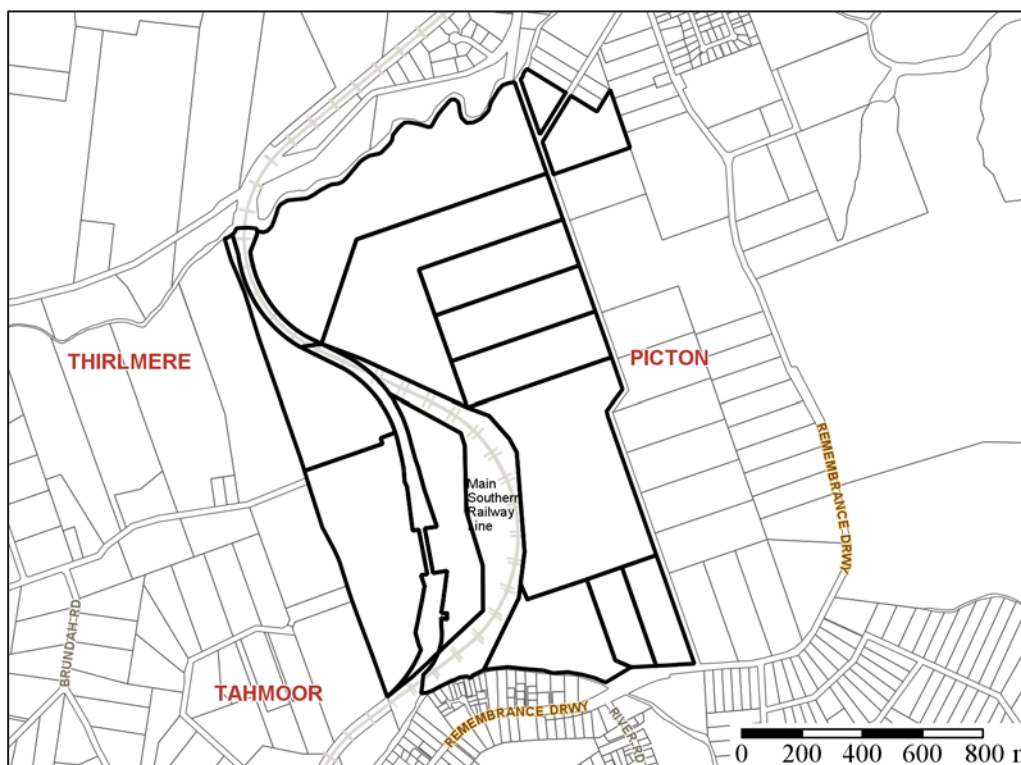
**PE3**

**Stilton Lane Planning Proposal**

41

TRIM 7142

**Applicant:** Fountaindale Group  
**Owner:** A R Kent



© Wollondilly Shire Council. © LPI

↑  
**LOCATION MAP N**

Stage	Completed
Preliminary notification	8 June 2016 to 8 July 2016
Gateway Determination	Not yet completed
Consultation with Public Agencies	Not yet completed
Specialist Studies	Not yet completed
Public exhibition/community consultation	Not yet completed
Referred to Minister for Publication	Not yet completed

**PE3 - Stilton Lane Planning Proposal**

**EXECUTIVE SUMMARY**

- The purpose of this report is to seek Council's position on a Draft Planning Proposal for a landholding containing 13 properties at Stilton Lane, Picton.
- The proposal seeks changes to the Wollondilly Local Environmental Plan (WLEP), 2011 and aims to rezone rural land for residential, environmental, industrial and tourism purposes. Changes to the WLEP lot size, height of buildings and biodiversity maps are also proposed.
- The proposal has been subject to preliminary community consultation and there were 6 submissions in response, 2 in objection, 2 in support and 2 neutral.
- Under legislation, a person who makes a relevant planning application or public submission is required to disclose any reportable political donations. The disclosure requirements extend to any person with a financial interest in the application or any associate of the person making a public submission. No disclosure of political donation has been made in association with this application.
- It is recommended that:
  - The planning proposal not be supported at this time due to concerns about the cumulative impact of residential growth on the road network, the access to the site through an industrial area, the relative isolation from town centres, lack of connectivity to adjoining residential areas, the bushfire hazard, limited access on the western part of the site, inconsistency with the Wollondilly Growth Management Strategy 2011 and the unknown quantity of employment lands required for Picton's future growth;
  - The planning proposal be reconsidered after an assessment by Council of the need for employment lands is undertaken;
  - The applicant and submitters are advised of Council's resolution.

**REPORT**

**BACKGROUND**

The original rezoning application for this site was received in 2009 and put on hold pending the endorsement by Council of the Growth Management Strategy which was adopted in February 2011.

A formal Draft Planning Proposal application was received in August 2013 and proposed a village style development comprising a commercial centre surrounded by residential terraces and lots ranging in size from 250sqm up to 2ha around the ridgelines. A total of 616 residential lots were proposed. The proposal also included potential sites for a school, reception conference centre and retirement village.



**PE3 - Stilton Lane Planning Proposal**

After an initial assessment informed by preliminary community consultation, concerns were raised with the proposed village concept separate to the nearby towns, the housing style and density, the location of the retirement village and school, the function centre and traffic impacts.

Since that time the applicant has met with Council staff a number of times to discuss alternative options for the site and an amended Draft Planning Proposal was submitted for consideration in May 2016 which is the subject of this report.

**1.1 SITE DESCRIPTION**

Stilton Lane is located on the south-western end of Picton Township at the end of Henry Street. The site is situated between the three towns of Picton Tahmoor and Thirlmere and is bounded by Redbank Creek to the north, Remembrance Drive to the south, Thirlmere to the west and Stilton Lane/Henry Street on the east. The landholding comprises 13 individual lots with a combined size of approximately 174 hectares.

Address	Cadastre – Lot//DP	Area in hectares
5 Stilton Lane	10//583245	1.522
10 Stilton Lane	1//583248	28.78
10A Stilton Lane	1//865604	11.88
15 Stilton Lane	2//583247	4.695
20 Stilton Lane	4//1180702	22.65
30 Stilton Lane	53//251857	8.905
40 Stilton Lane	54//251857	8.904
50 Stilton Lane	55//251857	8.907
60 Stilton Lane	1//1180702	24.27
2420 Remembrance Drive	60//979250	4.375
2430 Remembrance Drive	61//979250	3.886
2440 Remembrance Drive	2//1180702	39.76
2440A Remembrance Drive	201//1180801	4.994
<b>Total</b>		<b>173.528</b>

The site is currently used for beef cattle production and previously was a dairy farm. Smaller properties on the eastern side of Stilton Lane are mainly used for rural-residential and agricultural pursuits, including intensive horticulture (greenhouses). Henry Street and Bridge Street comprise a local industrial centre. Environmentally sensitive land is located along the Redbank Creek riparian corridor.

**PE3 - Stilton Lane Planning Proposal**

The Main Southern Railway line dissects the site and traverses the western portion of the site having been re-routed to avoid potential impact on railway infrastructure from mining subsidence. The northern and central part of the site is contained within a small valley with ridgelines defining the periphery. The area to the west of the railway line forms a separate part of the site while land fronting Remembrance Drive to the south is separated from the northern section by a relatively steep ridgeline running east-west across the centre of the site.

**1.2 DESCRIPTION OF PROPOSAL**

The draft planning proposal seeks to rezone most of the land from its current rural zone to enable development for approximately 700 residential lots, a tourism area for a conference and accommodation facility and land for industrial purposes.

Land proposed for community purposes is not required to be rezoned. Environmentally significant land would be conserved.

The planning proposal seeks to provide an integrated plan for the whole site which incorporates the following features:

**Residential land**

- Rezoning of around 50 ha of land for low density residential purposes with a 600 sqm minimum lot size within the northern portion of the site.
- Rezoning of around 60 ha of land for large lot residential purposes with a 2,000 sqm minimum lot size on the steeper slopes with building envelopes located away from the ridgelines. The ridgelines would be vegetated and managed under private ownership.

**Employment Lands**

- Rezoning of around 20 ha for tourism (with about half of this being cleared land suitable for development) on the highest part of the site (301m), described as Mount Stilton, to take advantage of views across the Shire and to the Blue Mountains.
- An area of around 22 ha of land adjacent to Remembrance Drive on the southern edge is not proposed to be rezoned (i.e. it will retain its current zone) but is proposed to have a minimum lot size of 4 ha. While the applicant has no specific proposal for this land, they consider that it would potentially be suitable for integrated education, hospital and/or for aged care facility type development. These would be permissible with consent under the current RU2 Rural Landscape zone.



**PE3 - Stilton Lane Planning Proposal**

Industrial Land

- Rezoning of around 3 ha industrial land with a 1,500 sqm minimum lot size immediately adjacent to the existing Henry Street industrial area. This land would be separated from the proposed residential area via a vegetated buffer and small park.

Environmental Conservation

- Rezoning of around 20 ha riparian land around Redbank Creek for environmental conservation.
- Environmentally sensitive land throughout the site will be mapped for its biodiversity value.

A copy of the Draft land Zoning Map forms Attachment No 1.

**CONSULTATION**

**2.1 FORMAL CONSULTATION WITH COUNCIL STAFF THAT PROVIDE SPECIALIST COMMENT**

A preliminary assessment and site inspection were undertaken by Council staff and the following comments on the Planning Proposal were made:

▪ **Traffic and Transport**

Over the past few years there have been a significant number of planning proposals submitted and completed within the Picton, Tahmoor and Thirlmere areas. The cumulative impact of the additional traffic on the transport network from recent rezoning of land I for approximately 2,000 dwellings/lots and potentially a further 1600 dwellings/lots (including this proposal) in planning proposals currently being assessed in the Picton/Tahmoor/Thirlmere area is of major concern in terms of the adequacy and capacity of the transport network for servicing these areas.

The Picton Town Centre Transport Master Plan is currently underway and will review impacts on existing transport infrastructure and develop a framework for managing proposed developments and their impacts on the transport network in the short to medium term. It aims to identify requirements for transport infrastructure in the town centre and should be completed early 2017. Consideration of a Picton bypass is outside the scope of the investigation as this project is not achievable in the short to medium term.

To accommodate this rezoning proposal, Stilton Lane would require upgrading as it contains a very steep and severe alignment which would result in major safety issues for any future residential development.

**PE3 - Stilton Lane Planning Proposal**

It is considered that any support of the draft planning proposal would be premature until the findings of the Picton Town Centre Transport Master Plan are known.

It is also considered optimal that the strategic planning consideration for this site be informed by further consideration of a Picton By-pass.

▪ **Access and Connectivity**

The site is at the south western edge of Picton and relatively isolated from existing residential areas and shopping/community centres and is almost 3 kms from Picton Town Centre at its northern end and 1.6 kms Tahmoor Town Centre at its southern end. There is only one access road, Henry Street/Stilton Lane into the site and the surrounding hills and railway line limit the ability to achieve satisfactory road and shared pathway connections.

Access to a proposed residential area via the industrial area is not considered satisfactory and would potentially result in conflict and safety issues between industrial road use and residential/pedestrian road use.

This potential for conflict between residents and industrial users along Henry Street is also a concern with regard to future business viability of the industrial area as there appears to be minimal opportunity for separating the uses in terms of vehicular and pedestrian access.

The planning proposal has not satisfactorily addressed these concerns.

Options for shared pathway routes within and from the site are proposed and supported in principle although the proposed pathway along Redbank Creek at the rear of industrial properties along Henry Street outside of this site would require Council to negotiate with the landowners and acquire the land. This shared pathway is not currently in a Contributions Plan. These shared pathways are identified on the Structure Plan as walking trails provided at Attachment 2.

▪ **Employment Lands**

The planning proposal site adjoins the light industrial area centred on Henry and Bridge Streets and a small amount of industrial land providing around 6 industrial allotments is proposed.

The existing Bridge/Henry Street industrial area comprises relatively small properties but has proved a popular location for services and manufacturers and has a low vacancy rate in terms of available land. Many expanding industries are forced to leave this area and the Shire due to a lack of suitable larger industrial properties.



**PE3 - Stilton Lane Planning Proposal**

It is considered that the Stilton Lane site may have potential for development for industrial or other employment purposes because it has the following attributes:

- It contains a large amount of relatively flat land which is physically separate from urban residential areas.
- It is located near to and could complement the existing industrial area at Henry and Bridge Street with potential to link the site through to Bridge Street via Star Street unformed road.
- Its location near to a railway line adjoining with potential for freight access and movement - (similar to Flour mill site at Maldon)
- Future potentially direct access to Picton By-pass depending on its location.
- Potential for agri-business which requires large areas of flat land with access to a reliable water supply. The property is serviced by reticulated water.

The main constraint which would hinder use of this site for employment generating purposes would be poor transport links in the absence of a Picton Bypass or direct access to the F5 Motorway. Although it is noted that B Double trucks are allowed up to Bridge Street via F5 off/on ramps at Bargo.

The Growth Management Strategy 2011 identifies a need for more detailed research to determine which specific industry and commercial development types are needed in Wollondilly and within the region generally to achieve growth in employment opportunities both locally and regionally (Section 4.6 Driver of Change - Commercial and Industrial Development).

Given the sites strategic potential to provide employment lands for the area it is considered that a decision to support rezoning the site for residential development would be short-sighted and premature and should wait until a detailed employment lands strategy for the Shire prepared by Council.

The proponent is aware of this issue and in response has prepared an Employment Lands Review. The purpose of the Review is to demonstrate the rationale for the proposed site land use mix and to provide an overview of employment lands within the Shire with a view to demonstrating that there is ample opportunity to provide future employment opportunities within the Shire in addition to those proposed as part of the draft planning proposal.

While the Review is a useful document it is a high level desk top document prepared with a limited scope and timeframe (3 weeks). The Review acknowledges that it *“does not remove the requirement of a comprehensive employment lands study that looks at supply and demand issues across the entire Shire”*.

**PE3 - Stilton Lane Planning Proposal**

The Review considers employment lands from a very general perspective; however what is required is an employment lands strategy which considered industrial lands specifically. A key consideration of any study would need to consider the challenges facing the existing Bridge Street industrial area particularly in relation to the potential for a Picton By-pass. The Review does not do this.

▪ **Tourism Precinct**

The draft planning proposal includes a tourist zone at the site's highest point for the potential future development of a hotel/conference centre. However, such a proposal appears to be speculative as no firm proposal for such a use has been submitted to support this change to the WLEP.

While the steeper part of the site does have scenic and natural attributes, the bushfire hazard and single lane access across the railway line are considered to make it unsuitable for such a zone (see Bushfire Hazard section).

A tourist zone in this location also may not be suitable because of potential for noise issues impacting on the proposed residential land on the site and recently rezoned large lot residential land adjoining to the west.

▪ **Education, Health and Aged Care**

An area at the southern end of the site topographically separated from the northern end by a ridgeline has been identified by the proponent as having potential for a range of uses such as education, hospitals and aged care under the current RU2 Rural Landscape Zone.

Education

Picton High School has limited land to increase capacity for student numbers. A high school or a second campus for an existing school on the proposal site could service the Picton, Tahmoor, Thirlmere area.

However, a public school would require the support of the NSW Education Department. The minimum area required for a high school under NSW Education Department guidelines is 6 ha. On the southern end of the site there are currently two lots of around 4 ha each and land which is part of a larger allotment with an area of 9 ha. The draft proposal seeks to retain the current land use zone but reduce the minimum lot size for subdivision to 4 ha potentially resulting in 4 lots in this location. If the NSW Education Department is interested in this location they would then need to acquire 2 lots should the minimum lot size be changed to 4 ha.

Private schools have shown an interest in locating at Wilton New Town. The planning for Wilton also includes a K-12 public school and other primary schools.



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Health

Council has advocated for a hospital for the local area for a number of years. Wilton New Town is more likely to be the preferred location for any such facility although state health agencies have not indicated that a hospital is required in the proposed new town.

Under the WLEP a "hospital" is a type of "health services facility" and is the only type of "health services facility" permissible in the RU2 Zone.

Aged Care

Additional aged care services in terms of nursing and hostel care are becoming more important as the population ages. This part of the site fronts Remembrance Drive and is accessible by a reasonable level of public transport (buses) during the day and early evening but is relatively isolated in terms of distance and walkability from either the Tahmoor or Picton town centre. Part of the land is also subject to bushfire hazard. For these reasons this part of the site is not considered an optimum location for either aged care services or for a hospital.

As with the tourism element of the draft proposal, the Aged Care element also appears to be speculative as no firm propositions for any future development of this land has been submitted at this stage.

It is noted that any such proposals if in accordance with the current zone and other requirements may not require any further change to Wollondilly LEP for the southern part of the site.

▪ **Bushfire Hazard**

The northern, western and southern parts of the site are impacted by bushfire hazard. The northern part of the site adjacent to Redbank Creek comprises areas of environmentally significant vegetation and most of this would need to be retained both because of its intrinsic biodiversity value and to protect the water quality and habitat of Redbank Creek. Provision of adequate Asset Protection Zones (APZs) and fire trails would be needed.

The limited access across the railway line to the west of the site is of concern because of the bushfire hazard and lack of alternative evacuation points for any future tourism and residential development in this location. There is single lane access on the railway bridge and this does not meet the two-way access requirements under the NSW Rural Fire Service Planning for Bushfire Protection (PFBP) guidelines. Tourism development is classified under PFBP as a Special Fire Protection Purpose development and one of the biggest challenges with bushfire is the evacuation of people who may have no comprehension of the danger or knowledge of the area in which they find themselves.

**PE3 - Stilton Lane Planning Proposal**

The applicant has indicated that options for improving access on the western side of the site will be investigated at a later date during the Development Control Plan preparation for the site. This is not considered a satisfactory approach to addressing the access issue. The applicant has indicated that there would be potential access into the site from the unformed Tickle Drive to the west. This access would be problematic given the steep topography and would also be located within the main bushfire hazard. Accordingly this approach would not be feasible either from a physical, cost or safety viewpoint. Another railway crossing may address this issue but the planning proposal has not suggested such an approach which is likely to be very costly.

The land at the southern end of the site is also impacted to a lesser extent by bushfire hazard. Hospitals, schools and housing for older people are also classed as Special Fire Protection Purposes requiring detailed consideration under PFBB guidelines.

▪ **Stormwater, Flooding and Water Quality**

The following matters were raised with regard to stormwater, flooding and water quality as detailed:

- Impact on the flooding extent of Redbank Creek.
- Potential impact on the railway drainage.
- Water quality throughout the site.
- Determine if the stormwater infrastructure and land is to be dedicated to Council at an early stage.
- A flood analysis is required on the site to determine any potential for localised flooding around the internal overland flowpaths and gullies.
- Identify any need to create riparian corridors or zones on the existing internal natural watercourses. The NSW Office of Water should be contacted to determine any watercourses considered waterfront land and that would need to remain as watercourse (with no potential for piping).
- Potential use of the formed basin on the northern end of the site for detention of water.

Specialist studies would be required with regard to stormwater management, flooding and water quality should a Gateway Determination to progress the planning proposal be received. The Office of Water would be contacted as part of government consultation.



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▪ **Geotechnical**

The site generally appears to be at low risk of slope instability. The steeper land at the southern end and identified as large lot residential will need to be assessed for slope stability with the potential for building envelopes to be created on stable and lower parts of these potential lots.

Parts of the site on the northern side were filled during the reconstruction and realignment of the Main Southern Railway line. On the northern end a large basin has been formed from use of fill and this land would need to be tested. Consideration would also need to be given to the residential use of land adjoining this basin area with regard to safety as it has resulted in relatively steeply sloping land.

A Geotechnical assessment would be required should the planning proposal receive a positive Gateway Determination.

▪ **Infrastructure Provision**

The cumulative impact of this and other planning proposals contributes to the need for additional infrastructure.

The lack of space for additional classrooms limits capacity for growth in student numbers in the local Picton High School and Picton Primary School.

The proponent is seeking options to develop a portion of the site for provision of education, health and aged care facilities to assist in provision of required services and facilities in the area. However there are no definite proposals at this stage and such proposals are not dependant on rezoning.

Additional traffic infrastructure for managing traffic at the intersections of Henry Street/Remembrance Drive and Stilton Lane/Remembrance Drive would be required and need to be provided by the developer. Additional development contributions would be required for local transport infrastructure and local community facilities depending on the findings of specialist studies.

As the planning proposal has a significant number of proposed new housing lots, it should be placed on the Urban Release Area map which would ensure that any required contributions for provision of State infrastructure are met by the developer similar to other rezonings around Picton, Tahmoor or Thirlmere.

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▪ **Biodiversity**

Vegetation around Redbank Creek provides an important habitat and riparian corridor which should be maintained and improved. There is currently a 30m wide riparian buffer identified on the Natural Resources Water Map of WLEP. Native grasses, Cumberland Plain Woodland and Shale Sandstone Transition Forest need protection on the site. The planning proposal includes an E2 Environmental Conservation zone (E2) of approximately 30m along Redbank Creek which widens to include vegetated land in the north-west corner. A 100m wide E2 zone along Redbank Creek is recommended to ensure that the existing vegetation is protected and to improve the potential habitat corridor that extends west along Redbank Creek. The NSW State Government's new approaches in terms of biodiversity aim to strengthen options to retain vegetation on-site rather than offset elsewhere.

A Flora and Fauna study would need to be undertaken should the planning proposal proceed. The proposed 600 sqm lot size adjacent to the Redbank Creek riparian corridor may not be large enough to enable this land to be protected adequately if they are to include E2 land with sufficient area for an Asset Protection Zone outside of the E2 land.

The ridgelines are proposed to be vegetated and these would be maintained in private ownership with a positive covenant so as to ensure that the land does not become a maintenance burden for Council. Further assessment is required to determine whether the proposed lot size along the ridgelines would be large enough to support a vegetation corridor and that the vegetation does not increase bushfire hazard and the need for APZs while also ensuring that housing development does not encroach on the ridgeline.

▪ **Separation of Picton and Tahmoor**

The proposal will result in the rural land between Picton and Tahmoor being lost which is inconsistent with Council's vision for 'rural living' and the desire to retain a separation between towns and villages.

There may be a loss of visual separation along the southern end of the site when viewed from Remembrance Drive. As detailed the proponent is investigating a range of options for this land including aged care, a hospital and a school which can occur without rezoning.

Ensuring there are adequate setbacks and landscaping for land fronting Remembrance Drive area would assist in maintaining the landscape character and visual separation. Existing rural and unbuilt land east of Stilton Lane along Remembrance Drive would continue to provide a visual landscape buffer between Picton and Tahmoor if this proposal proceeded.



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▪ **Residential Land Supply**

There is a question as to whether there is a need for the rezoning of additional residential land because of the proposed new town at Wilton. In the current Growth Management Strategy 2011 (GMS) there are proposals for consolidated incremental growth around towns to assist in meeting local demand for housing as well as improving the viability of local town centres. The GMS has a housing target of 4,000 lots to 2036 for the Picton/Tahmoor Thirlmere area which has almost been met already assuming all current planning proposals including this one are finalised.

A concern has been raised as to whether landowners on the eastern side of Stilton Lane and north of the middle ridge of the site would be able to rezone their land for residential purposes. A decision on this would not be able to be made until the outcome of this planning proposal is known. There is no proposal to include their land in the current planning proposal.

Land fronting Remembrance Drive on the eastern side of Stilton Land to the south of the ridge across the middle of the site is proposed to retain the rural zone. Any future development on the site in this location would need to ensure there are adequate buffers to avoid potential land use conflict with small scale agricultural uses.

▪ **Specialist Studies**

Should the planning proposal proceed and receive a positive Gateway Determination the following specialist studies are recommended:

- Traffic and Transport
- Rail Noise and Vibration
- Stormwater Management and Water Quality
- Flooding
- Geotechnical
- Preliminary Contamination Assessment
- Flora and Fauna report
- Bushfire Management Assessment
- Community Needs Assessment
- European and Aboriginal Archaeological Heritage Study
- Land-Use conflict Assessment
- Visual Assessment.

**PE3 - Stilton Lane Planning Proposal**

**2.2 CONSULTATION WITH PUBLIC AGENCIES**

Formal consultation with government agencies and infrastructure providers would be required should the planning proposal receive a positive Gateway Determination. It is considered that the following agencies and organisations should be consulted.

- NSW Department of Transport
- Roads and Maritime Services
- NSW Rural Fire Service
- Sydney Water Corporation
- NSW Fire & Rescue
- NSW Office of Environment and Heritage
- NSW Department of Primary Industries
- Office of Water
- NSW Education Department
- NSW Health - South Western Sydney Local Health District
- Australian Rail Track Corporation
- NSW Department of Industry - Resources & Energy
- Mine Subsidence Board
- Subsidence Advisory NSW.

The proponent has independently sought preliminary feedback from a number of service agencies and their responses are outlined below:

Sydney Water

Water - There is sufficient capacity to service the site with drinking water subject to extension and augmentation of existing infrastructure.

Sewer - There is no current capacity for servicing the site but this may change after the Picton Treatment Plant is expanded. The proponent has undertaken a Waste Water Investigation and provided a wastewater treatment strategy for providing on-site sewerage should Sydney Water not be able to service the site in the future.

Natural Gas

Jemena has indicated that existing gas infrastructure would have capacity to service the site.

Telecommunications

The site is not currently located within the area for NBN rollout so additional cost would be required to enable connection.



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Electricity

Endeavour Energy's existing infrastructure has sufficient capacity to service the site.

Mining

The site is currently being undermined with completion expected in 2017. Proposed changes to the *Mine Compensation Act 1961* would pass the cost of subsidence impacts onto the mine operator and this may affect the response from Subsidence Advisory NSW with regard to the timing of this rezoning.

**2.3 COMMUNITY CONSULTATION**

In accordance with Council's notification policy, initial community consultation has been undertaken. The application was made available on Council's website and letters were sent to owners and occupiers of adjoining and potentially affected properties.

A total of 6 submissions were received and of these submissions; 2 objected, 2 supported and 2 submissions were neutral.

The issues raised in submissions that are relevant to the assessment of the application are summarised in the following table.

<b>Issue Raised</b>	<b>Assessment Comment</b>
Need for a railway station and car park due to population increases	Consultation with rail authorities would determine whether a railway station is able to be provided should the planning proposal proceed.
Planning proposal is unclear regarding future employment land.	The proponents have suggested a range of potential uses for land adjoining Remembrance Drive and are not proposing to change the RU2 Rural Landscape zone in this section of the site. No specific proposal has been received.
The increase in population of around 2,000 people would require a large investment in local services and infrastructure.	It is agreed there would be additional infrastructure requirements and additional information in this regard should be sought from government agencies if the planning proposal proceeds. An assessment of local services and facilities would also be required.
Traffic congestion through Argyle Street would require a bypass road via Maldon.	The potential traffic impact is a concern as outlined in the report. Options for a Picton bypass are a medium to long term project.  If the planning proposal proceeds a traffic study will be required.

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Issue Raised	Assessment Comment
The lack of spatial separation between Picton and Tahmoor is of concern and the report is contradictory as the land on Remembrance Drive is proposed for employment generating uses.	It is acknowledged that the proposal would join Picton and Tahmoor. Most of the site is not visible from Remembrance Drive being within a valley. Potential development along Remembrance Drive could occur under the current zone. Landscaping of the site and adequate setbacks would be required to soften any visual impact.
Concern with potential uses and noise from the proposed tourist zone.	There is a concern with the proposed tourist zone which would allow a range of uses that have potential for production of noise particularly with regard to impact on the proposed surrounding residential land. Any future proposal for development in the tourist zone would need to consider potential noise and amenity impacts on the nearby residential area as part of the development application process.

**2.4 PREPARATION OF A PLANNING PROPOSAL**

Should Council resolve to support the application, a Planning Proposal will be prepared in accordance with Section 55 to the *Environmental Planning and Assessment Act, 1979* and guidelines published by the Department of Planning and Environment. The Planning Proposal is then forwarded to the Minister for Planning and Environment for a Gateway Determination.

In deciding to forward a Planning Proposal to the Gateway process, Council is endorsing the Planning Proposal and it is deemed to be *Council's* Planning Proposal.

Council's options are:

1. Resolve to support the application in its original form and prepare a Planning Proposal accordingly. Matters can be more fully investigated and resolved with future specialist studies as determined by the Gateway process.
2. Resolve that a Planning Proposal be prepared in a form different to the application (and as described in Section 2.13 of this report). Matters can be more fully investigated and resolved with future specialist studies as determined by the Gateway process.



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3. Resolve not to support a Planning Proposal for this site. The applicant can choose to apply for a Pre-Gateway Review as a result of this option.

Note that the application has been with Council for more than 90 days. The applicant can apply for a pre-Gateway review in accordance with the EP&A Regs, 2000 if Council fails to indicate support for the application within 90 days of receiving the application.

Option 3 is the recommendation of this report.

**2.6 A PLAN FOR GROWING SYDNEY**

The Plan has a vision for a city of housing choice with homes that meet our needs and lifestyle. The location and features of the site indicate that the site may be more suitable for employment generating lands rather than housing. Direction 1.9: "Support priority economic sectors" aims to support the growth of industry clusters by the provision of sufficient well-located and well-serviced land and it is considered that additional information on the need, type and location requirements of employment generating land to service the local area is required before a decision is made to rezone the land for residential purposes.

**2.7 SECTION 117 MINISTERIAL DIRECTIONS**

**Direction 4.4 Planning for Bushfire Protection**

The planning proposal is inconsistent with objective (a) of Direction 4.4 which is "(a) to protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas,' with regard to the proposed tourism zone and residential land on the western side of the railway line. In particular the planning proposal does not comply with section (6) (c) which requires that "a planning proposal must contain provisions for two-way access roads which links to perimeter roads and/or to fire trail networks."

It is considered that the planning proposal has the potential to be generally consistent with all other relevant ministerial directions subject to specialist studies addressing all directions satisfactorily.

**2.8 STATE ENVIRONMENTAL PLANNING POLICIES**

Specialist studies would address requirements outlined in relevant State Environmental Planning Policies. These would be required if the planning proposal progresses.

**PE3 - Stilton Lane Planning Proposal**

**2.9 AMENDMENT TO THE STATE ENVIRONMENTAL PLANNING POLICY (MINING, PETROLEUM PRODUCTION AND EXTRACTIVE INDUSTRIES) (COAL SEAM GAS EXCLUSION ZONES) 2013**

The site is located within 2km of a residential zone and therefore is within the coal seam gas exclusion zone.

**2.10 WOLLONDILLY GROWTH MANAGEMENT STRATEGY 2011 (GMS)**

The GMS includes Structure Plans which identify areas that are considered to have potential for growth. A part of the northern portion of the site adjoining Henry Street is identified on the Structure Plan for Picton. The site is not identified on the Structure Plan for Tahmoor and Thirlmere.

Key Policy Direction	Comment
<b>General Policies</b>	
P1 All land use proposals need to be consistent with the key Policy Directions and Assessment Criteria contained within the GMS in order to be supported by Council.	The draft planning proposal is not consistent with all the key Policy Directions and Assessment Criteria contained within the GMS.
P2 All land use proposals need to be compatible with the concept and vision of "Rural Living" (defined in Chapter 2 of the GMS).	The planning proposal would reduce the separation between the urban areas of Picton Tahmoor and Thirlmere but the visual impact from the main road corridor (Remembrance Drive) would be limited. The site is not located near town centres and would result in a relatively isolated housing development with limited opportunities for connectivity with existing urban residential area.
P3 All Council decisions on land use proposals shall consider the outcomes of community engagement.	Adjoining landowners that may be impacted by this proposal have been notified. Their comments have been summarised and discussed in this report.
P4 The personal financial circumstances of landowners are not relevant planning considerations for Council in making decisions on land use proposals.	No personal financial details of landowners have been made available and would not form a part of any consideration of this planning proposal.



**PE3 - Stilton Lane Planning Proposal**

<b>Key Policy Direction</b>	<b>Comment</b>
P5 Council is committed to the principle of appropriate growth for each of our towns and villages. Each of our settlements has differing characteristics and differing capacities to accommodate different levels and types of growth (due to locational attributes, infrastructure limitations, geophysical constraints, market forces etc.).	There are concerns with both the relative isolation of this site from the established urban areas and with the tourism and residential purposes west of the main southern railway line, which are impacted by bushfire hazard. There is currently insufficient sewerage capacity to service the site and there are concerns with the potential impact of the development on the traffic and transport network.
<b>Housing Policies</b>	
P6 Council will plan for adequate housing to accommodate the Shire's natural growth forecast.	There has been an influx of planning proposals for the rezoning of rural land for residential purposes potentially resulting in housing and population increases well above the Shire's natural growth forecast.
P8 Council will support the delivery of a mix of housing types to assist housing diversity and affordability so that Wollondilly can better accommodate the housing needs of its different community members and household types.	The proposed housing would provide lots of both standard and larger sizes that would provide for family style housing for those on middle to high incomes.
P9 Dwelling densities, where possible and environmentally acceptable, should be higher in proximity to centres and lower on the edges of towns (on the "rural fringe").	This site is at the edge of the Picton township and provides for lower density development suited to this location.
P10 Council will focus on the majority of new housing being located within or immediately adjacent to its existing towns and villages.	The site is at the edge of Picton, Tahmoor and Thirlmere but is relatively isolated from each of the town centres both in terms of distance and connectivity.
<b>Macarthur South Policies</b>	
Key Policy Directions P11, P12, P13 and P14 are not applicable to this planning proposal. The subject land is not with the Macarthur South area.	NA

**PE3 - Stilton Lane Planning Proposal**

Key Policy Direction	Comment
<b>Employment Policies</b>	
<p>P15 Council will plan for new employment lands and other employment generating initiatives in order to deliver positive local and regional employment outcomes.</p>	<p>It is proposed to rezone a small amount of land for industrial purposes. Community facilities and tourism uses are proposed but no specific or definite proposals have been submitted. There are bushfire hazard issues with the proposed tourism use. The site is located adjacent to an important industrial area servicing the Shire and has physical attributes that make it potentially suitable for industrial and agri-business pursuits and other types of employment lands yet to be determined.</p> <p>The Growth Management Strategy 2011 identifies a need for more detailed research to determine which specific industry and commercial development types are needed in Wollondilly and within the region generally to achieve growth in employment opportunities both locally and regionally.</p> <p>Given the sites strategic potential to provide employment lands for the area it is considered that a decision to support rezoning the site for residential development would be premature and should wait until an employment Lands strategy has been prepared for Wollondilly.</p>
<p>P16 Council will plan for different types of employment lands to be in different locations in recognition of the need to create employment opportunities in different sectors of the economy in appropriate areas.</p>	<p>Land is proposed to be zoned for tourism purposes with a view to enabling development of the site for a motel and conference accommodation. However, due to the bushfire hazard and limited access these uses are not supported in this location.</p> <p>The current RU2 Zone permits a range of employment generating land uses already and this includes hospitals and educational establishments which the applicant has indicated are being pursued in terms of commercial viability and prospective clients/end users.</p>

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Key Policy Direction	Comment
<b>Integrating Growth and Infrastructure</b>	
<p>P17 Council will not support residential and employment lands growth unless increased infrastructure and servicing demands can be clearly demonstrated as being able to be delivered in a timely manner without imposing unsustainable burdens on Council or the Shire's existing and future community.</p>	<p>There is a concern that development of the site for an additional 700 dwellings at this time may impose a burden on the transport network given the cumulative impact from the significant number of residential and commercial planning proposals currently under consideration by Council. In addition Picton High School and Picton Primary School have limited land for providing additional classrooms to cope with anticipated growth in student numbers..</p>
<p>P18 Council will encourage sustainable growth which supports our existing towns and villages, and makes the provision of services and infrastructure more efficient and viable – this means a greater emphasis on concentrating new housing in and around our existing population centres.</p>	<p>The site is not considered to be suitable in terms of supporting existing towns and villages as its location is relatively remote from, and its connectivity potential is particularly poor, with existing centres at Picton, Tahmoor and Thirlmere.</p> <p>There is limited, if any, potential for the site to make genuine connections with existing urban areas particularly as these would need to pass through an industrial area This is particularly challenging for establishing safe and inviting connections to foster community cohesion between newer and older areas and also in the ability to encourage incidental physical activity through creating safe and inviting paths.</p> <p>Future development at this location would more than likely result in a satellite community reliant on car use rather than a logical extension of an existing area.</p> <p>The development of residential land adjoining an industrial area may lead to conflict between residential and industrial uses and affect the sustainability of the industrial area.</p>



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**PE3 - Stilton Lane Planning Proposal**

<b>Key Policy Direction</b>	<b>Comment</b>
P19 Dispersed population growth will be discouraged in favour of growth in, or adjacent to, existing population centres.	The development of the site would not lead to dispersed population growth as it is near population centres but has poor connectivity to these centres.
P20 The focus for population growth will be in two key growth centres, being the Picton/Thirlmere/Tahmoor Area (PTT) area and the Bargo Area. Appropriate smaller growth opportunities are identified for other towns.	The site is at the edge of the PTT area and while a limited part of the site is indicated for residential growth on the Picton Structure Plan, the main access to the site through an industrial area is not supported. The site is not identified on the Structure Plan for Tahmoor-Thirlmere
<b>Rural and Resource Lands</b>	
P21 Council acknowledges and seeks to protect the special economic, environmental and cultural values of the Shire's lands which comprise waterways, drinking water catchments, biodiversity, mineral resources, agricultural lands, aboriginal heritage and European rural landscapes.	The planning proposal aims to augment environmental land adjoining Redbank Creek and to protect the ridgelines within the site from development by including a revegetation plan. Mineral resources underlying the site are currently being mined with completion expected in 2017.
P22 Council does not support incremental growth involving increased dwelling entitlements and/or rural lands fragmentation in dispersed rural areas. Council is however committed to maintaining where possible practicable, existing dwelling and subdivision entitlements in rural areas.	The site is not located in a dispersed rural area. This proposal aims to develop the site as a whole for range of residential, community, industrial, environmental and tourism purposes.

**PE3 - Stilton Lane Planning Proposal**

**2.11 WOLLONDILLY LOCAL ENVIRONMENTAL PLAN, 2011 (WLEP 2011)**

Following consideration of responses from initial consultation and notification and a preliminary assessment of the application, it is not considered appropriate to amend the existing provisions of WLEP 2011 at this time for the following reasons:

- It is unclear that rezoning of the major portion of the site to a residential zone will achieve the best and highest use of the land.
- There appears to be a need for additional well located, large industrial, employment or agri/business land and a portion of the site could provide this.
- There is insufficient information regarding the specific need, type and optimum location for industrial/employment generating land in the Shire and this should be obtained before Council makes a decision on the rezoning of this landholding.
- The main access to the site via an industrial area is not ideal and will potentially create conflict between residential and industrial land uses which may both create safety issues and impact on the long-term viability of the industrial area.
- There is concern about the cumulative impact on the local road network from the additional traffic which would potentially be generated from this planning proposal.
- The site has poor connectivity with existing centres and adjoining residential areas and there are limited opportunities to provide additional connection routes due to the topography and railway line.
- There is potential for rural land use conflict from the agricultural land uses on adjoining land.
- The proposed tourist and residential development on the western side of the Main Southern Railway Line is not suitable due to limited access and bushfire hazard.
- The cumulative impact from recent rezoning and current planning proposals for residential land in the Picton, Tahmoor and Thirlmere will increase the strain on existing education, health and community facilities.
- The planning proposal has not provided evidence that the proposal for a hospital or school is a realistic possibility and therefore these facilities should not be considered a reason to support the proposed residential rezoning.
- The proposed location of aged care nursing and hostel care services is not supported as it is isolated from town centres and may be subject to bushfire hazard.

**PE3 - Stilton Lane Planning Proposal**

**2.11.1 WOLLONDILLY LOCAL ENVIRONMENTAL PLAN, 2011 (WLEP, 2011)**

The proposed amendments to WLEP 2011 that may be considered are described below should the planning proposal be supported:

- Amend the Land Zoning Map from Zone RU2 Rural Landscape to Zones R2 Low Density Residential (R2), R5 Large Lot Residential (R5), IN2 Light Industrial (IN2) and E2 Environmental Conservation (E2) as shown in Attachment 1.
- Amend the Lot Size Map from a minimum lot size category of 16 hectares to a lot size to be determined for R2 and R5 land based on further assessment, 1,500 sqm for IN2, no minimum lot size for E2 and 4 ha for the residue RU2.
- Amend the Height of Buildings Map from a Maximum Building Height Category of no metres to a Maximum Building Height Category of 9 metres except for the residue RU2 Rural Landscape zone.
- Amendments are anticipated for the Natural Resources – Biodiversity Map. However, the details of the changes will not be known until specialist studies are completed.
- The Land Use Table would be amended to include the SP3 Tourist Zone and the land uses that may be added to those detailed in the Standard Instrument would be determined following further specialist studies.
- Amend the Urban Release Area Map to include this land.

These amendments would exclude part of Lot 2 DP 1180702 west of the Main Southern Railway Line which is considered unsuitable for tourism and residential uses because of the single lane access over the railway lane and bushfire hazard.

**2.11.2 WOLLONDILLY DEVELOPMENT CONTROL PLAN, 2016**

Amendments to Wollondilly Development Control Plan to provide site specific planning controls to guide future development on the site are likely to be required and will be determined after completion of specialist studies when details of changes will be apparent.



**PE3 - Stilton Lane Planning Proposal**

**VOLUNTARY PLANNING AGREEMENT**

At this stage no need has been identified for a voluntary planning agreement for the provision of any infrastructure or facilities has not been offered.

**FINANCIAL IMPLICATIONS**

Funding for this project to date has been achieved through the adopted Planning Proposal fees and charges.

Council has experienced a record increase in the number of Planning Proposals submitted in addition to the Wilton New Town project. Note that the Wilton New Town project is not a planning proposal but has had significant impact on Strategic Planning resources. All proposals which result in an increased intensity of land use within the Shire shall also lead to increased demand for Council services and facilities over time. Council will need to consider this in the adopted budget and forward estimates.

**ATTACHMENTS**

1. Draft Land Zoning Map.
2. Structure Plan.

**RECOMMENDATION**

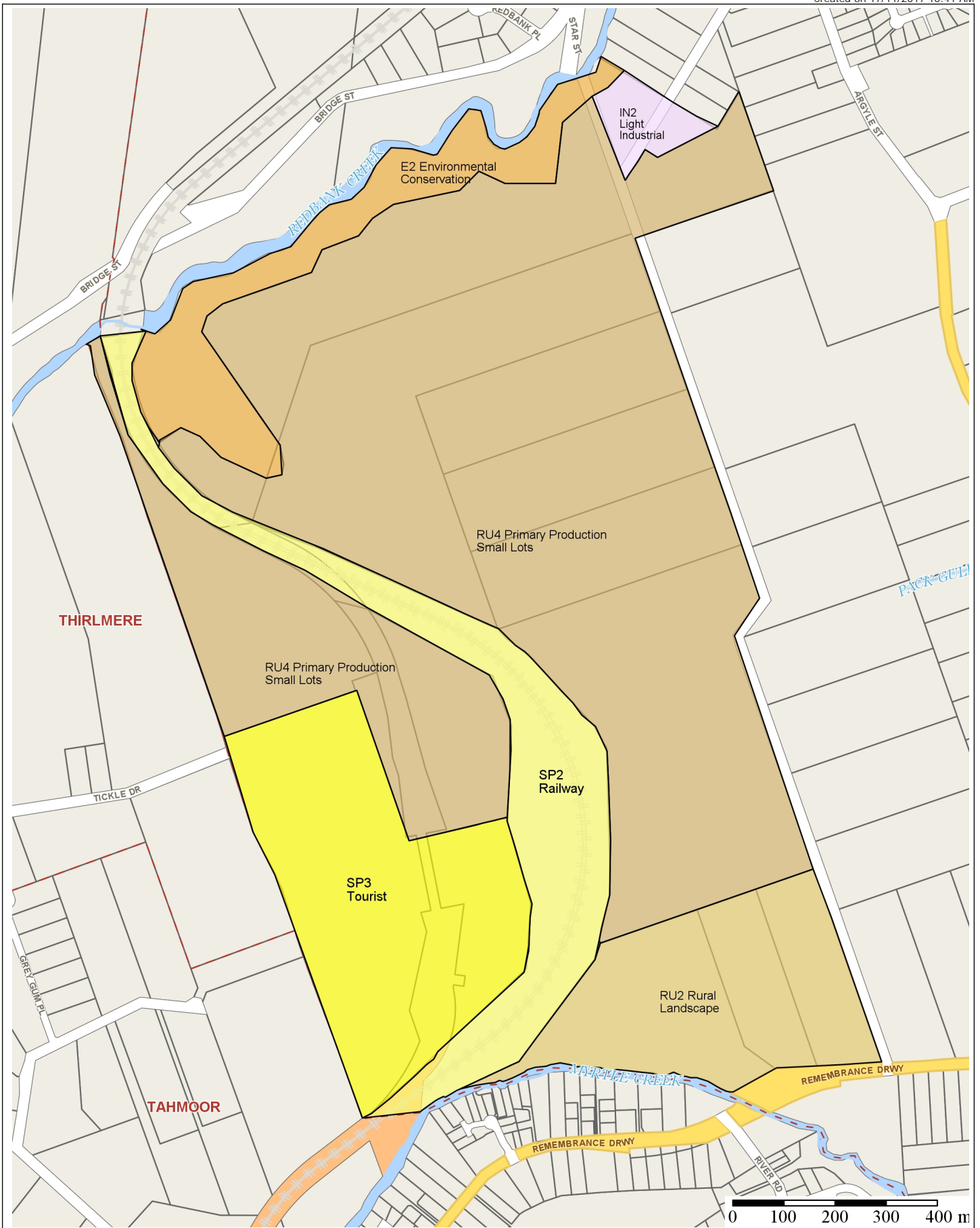
1. That Council not support the preparation of a Planning Proposal for the Stilton Lane site which includes the following land being Lot 10 DP 583245 (5 Stilton Lane), Lot 1 DP 583248 (10 Stilton Lane), Lot 2 DP 583247 (15 Stilton Lane) Lot 4 DP 1180702, (20 Stilton Lane), Lot 53 DP 251857 (30 Stilton Lane), Lot 54 DP 251857 (40 Stilton Lane), Lot 55 DP 251857 (50 Stilton Lane), Lot 1 DP 1180702 (60 Stilton Lane), Lot 60 DP 979250 (2420 Remembrance Drive), Lot 61 DP 979250 (2430 Remembrance Drive), Lot 2 DP 1180702 (2440 Remembrance Drive) and Lot 201 DP 1180801 (2440A Remembrance Drive), Picton for the following reasons:
  - Support for the planning proposal is considered to be premature in the absence of an employment lands strategy and the outcome of the Picton Town Centre Transport Master Plan investigation is known.
  - The site is not an appropriate location for residential development housing limited connectivity.
  - The proposed tourist and residential development on the western side of the Main Southern Railway Line are not considered suitable due to bushfire and access constraints.

Report of Planning and Economy to the Ordinary Meeting of Council held on Monday 21 November 2016

---

**PE3 - Stilton Lane Planning Proposal**

- There is insufficient information and certainty at present to support the changes required to enable the education and health components of the proposal. In addition, the principle of aged care nursing and hostel care services are not supported given the sites isolated location from town centres and potential bushfire constraints.
  - The proposal is largely inconsistent with the Wollondilly Growth Management Strategy, 2011.
2. That the planning proposal be reconsidered after an assessment by Council of the need for employment lands is undertaken.
  3. That the applicant and submitters be notified of Council's Resolution.



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 PICTON NSW 2571  
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 Web: [www.wollondilly.nsw.gov.au](http://www.wollondilly.nsw.gov.au)

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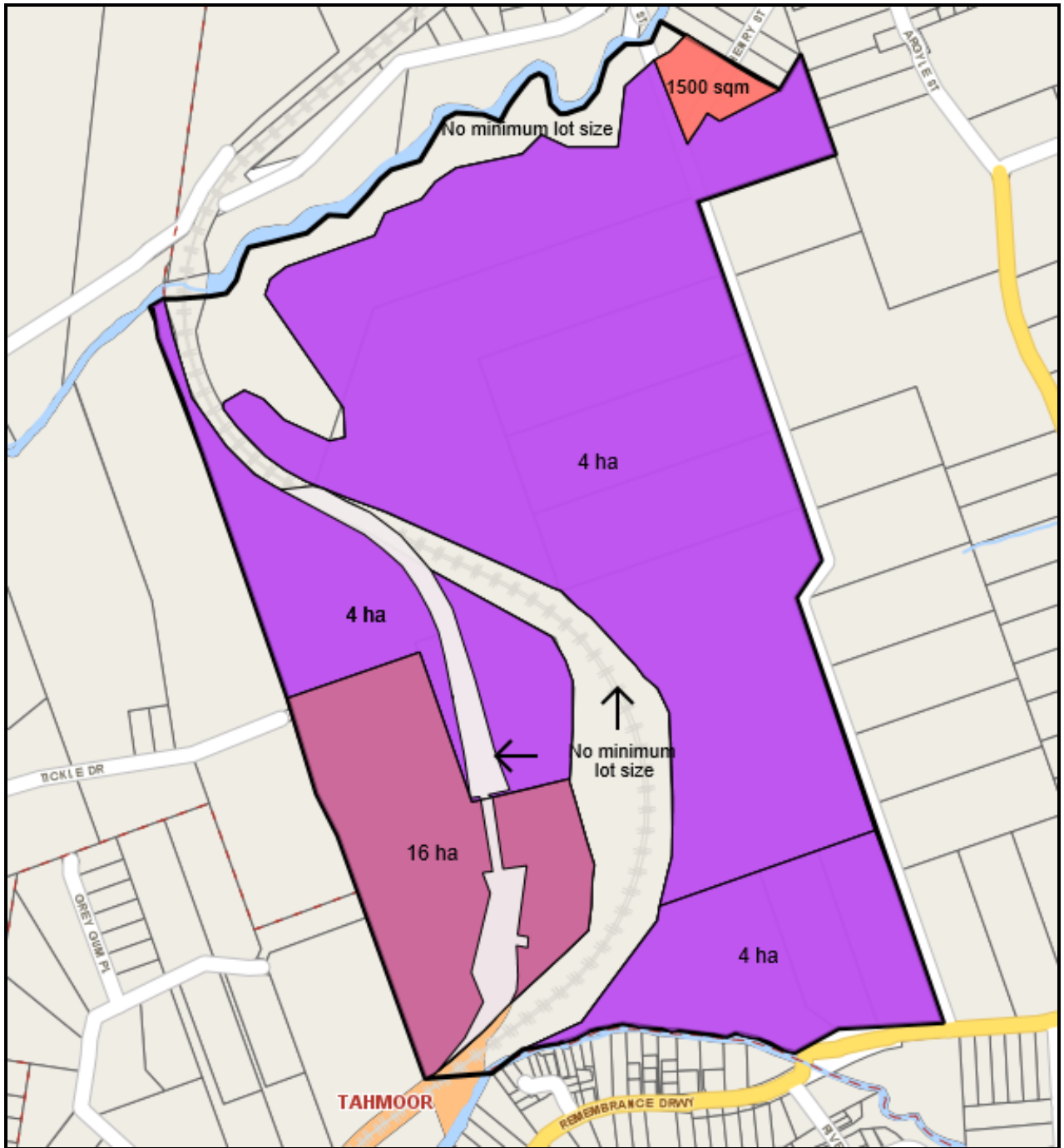
Created By: Kitty Carter

Projection: GDA94 / MGA zone 56

Date: 17/11/2017 10:41 AM

## Stilton Lane Proposed Land Use Zones





**Stilton Lane Planning Proposal  
Proposed Minimum Lot Sizes**



**Stilton Lane Planning Proposal**  
**Proposed Maximum Height of Buildings**

# GR9 Attachments

1. Current Land Use Zoning Comparison Map (Public Exhibition Version)
2. Current Minimum Lot Size Comparison Map (Public Exhibition Version)
3. Current Maximum Height of Comparison Map (Public Exhibition Version)
4. Current Natural Resources Biodiversity Layer – Comparison Map (Public Exhibition Version)
5. Current Odour Buffer Map Comparison (Public Exhibition Version)
6. Suggested amended Land Use Zoning Comparison Map (for Altered Gateway Determination Request)
7. Suggested amended Minimum Lot Size Comparison Map (for Altered Gateway Determination Request)
8. Staging Plan
9. Map showing indicative location of proposed park.
10. Comments from Department of Primary Industries (Agriculture)
11. Comments from Roads and Maritime Services NSW
12. Extract from Traffic Impact Assessment showing possible future intersection arrangement and main entry
13. Current Urban Release Area Comparison Map (Public Exhibition Version)

**Monday 11 December 2017**

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GR9 – Planning Proposal – North Silverdale Commercial,  
Residential and Environmental Lands



Map Series to be Amended:  
Land Zoning

Map Sheets to be Amended:  
8400\_COM\_LZN\_006A\_020\_20131212

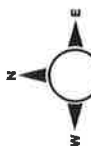
Zone	Description
B1	Neighbourhood Centre
B2	Local Centre
B4	Mixed Use
B4	Business Development
E1	National Parks and Nature Reserves
E2	Environmental Conservation
E3	Environmental Management
E4	Environmental Living
IN1	General Industrial
IN2	Light Industrial
IN3	Heavy Industrial
R2	Low Density Residential
R3	Medium Density Residential
R5	Large Lot Residential
RE1	Public Recreation
RE2	Private Recreation
RU1	Primary Production
RU2	Rural Landscape
RU4	Primary Production Small Lots
SP1	Special Activities
SP2	Infrastructure

**Cadastrate**  

 Cadastrate has data 01/08/2014 © Land and Property Information (NSW)  
 Addression data: 01/08/2017 © Wollondilly Shire Council

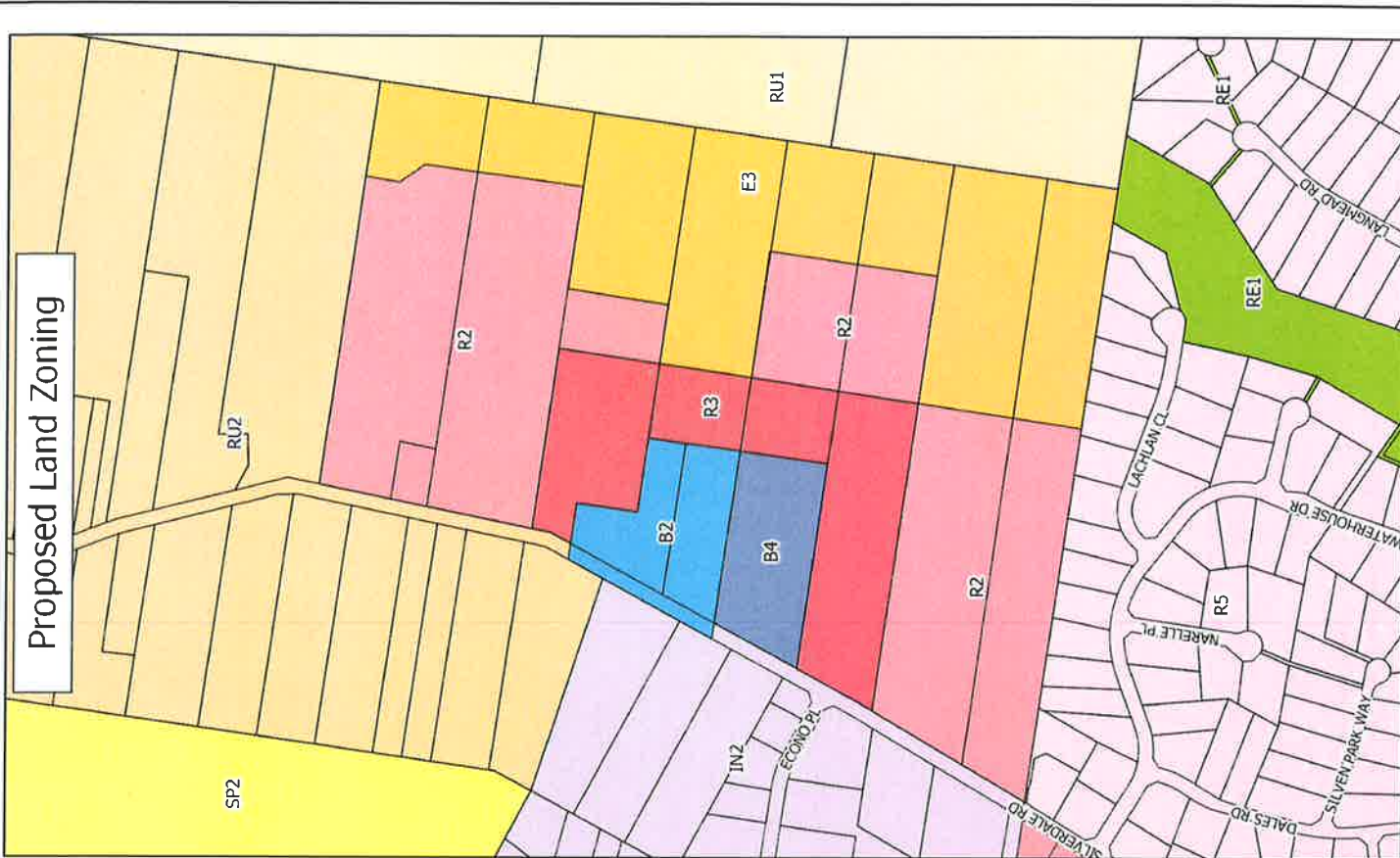
Note: all legend items, in accordance with Council's LEP 2011 maps are illustrative - all items may not be visible in the subject map.

Map Produced: 04-08-2017



Projection: GDA 1984  
MGA 2011 50

Visit the website below to view the published map sheets in pdf format.  
<http://www.wollondilly.nsw.gov.au/development/lep2011/2011lep185>





Minimum Lot Size (sq m)

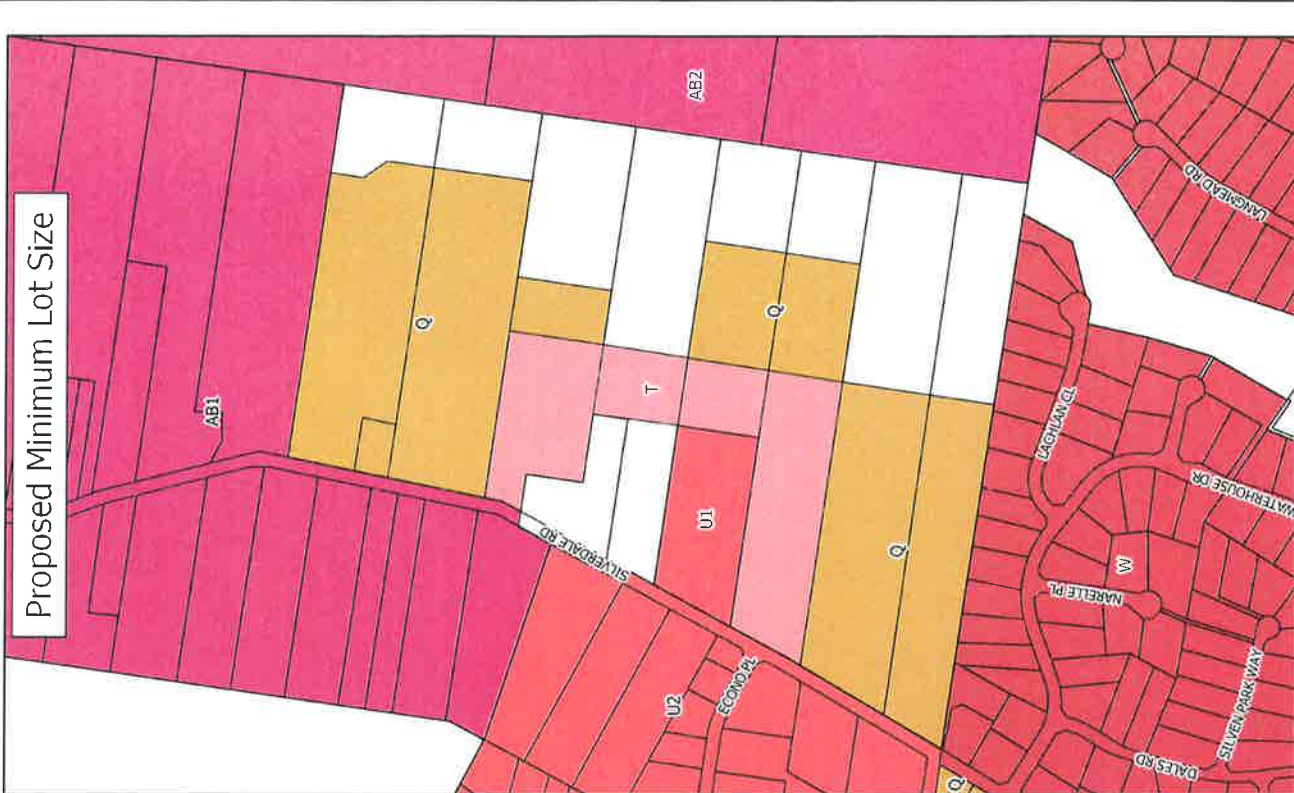
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C	350
D	400
E	450
F	500
G	550
H	600
I	650
J	700
K	750
L	800
M	850
N	900
O	950
P	1000
Q	1050
R	1100
S	1150
T	1200
U1	1250
U2	1300
V	1350
W	1400
X	1450
Y	1500
Z	1550
AA	1600
AB1	1650
AB2	1700
AC	1750
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AF	1900
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AH	2000
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AO	2350
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AU	2650
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AX	2800
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AZ	2900
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BB	3000
BC	3050
BD	3100
BE	3150
BF	3200
BG	3250
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BW	4000
BX	4050
BY	4100
BZ	4150
CA	4200
CB	4250
CC	4300
CD	4350
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Cadastre

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Project No. 2011/001  
Date: 2011/01/01  
Scale: 1:10000

Wollondilly Local Environmental Plan 2011  
Map Series to be Amended:  
Lot Size Map  
Map Sheets to be Amended:  
8400\_COM\_LSZ\_006A\_020\_20131212







Map Series to be Amended:  
 Natural Resources - Biodiversity

Map Sheets to be Amended:  
 8400\_COM\_NRB\_006A\_020\_20131212

**Sensitive Land**



Sensitive land

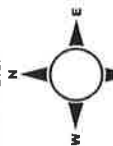
**Cadastral**



Cadastral (as of 31/03/2011) (© Land and Property Information (NSW))  
 Australian map © 2013/2011 © Property Street Council

Note: All legends in Wollondilly Council's LEP 2011 maps are illustrative. All items may not be visible in the adjacent map.

Map Produced: 04-08-2017



Projection: GDA-1984  
 Map Scale: 20

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**Current NRB**




**Proposed NRB**




Map Series to be Amended:  
**Odour Buffer Area**

Map Sheets to be Amended:

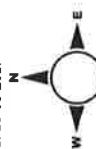
**Urban Release Areas**  
 Urban Release Area

**Cadastre**


  
Cadastre data obtained from the NSW Government's Geographical Information System (GIS) and the NSW Government's Geographical Information System (GIS) and the NSW Government's Geographical Information System (GIS)

Notes: All legend items in Wollondilly Local Environmental Plan 2011 (LEP 2011) which are listed above. All items may not be visible in the subject map.

Map Produced: 18-06-2017



Projection: GDA 1984  
 MGR Zone 56

NOTE: This website system is only for publishing map sheets listed above.  
 For more information, please contact the Shire of Wollondilly, 1800 634 634 or www.wollondilly.nsw.gov.au

**Current OBA**



**Proposed OBA**





Map Series to be Amended:  
 Land Zoning

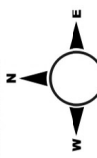
Map Sheets to be Amended:  
 8400\_COM\_LZN\_006A\_020\_20131212

Zone	Description
B1	Neighbourhood Centre
B2	Local Centre
B4	Mixed Use
B5	Business Development
E1	National Parks and Nature Reserves
E2	Environmental Conservation
E3	Environmental Management
E4	Environmental Living
IN1	General Industrial
IN2	Light Industrial
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R5	Large Lot Residential
RE1	Public Recreation
RE2	Private Recreation
RU1	Primary Production
RU2	Rural Landscape
RU4	Primary Production Small Lots
SP1	Special Activities
SP2	Infrastructure

**Cadastral**  
 Cadastral lots data 01/08/2014 © Land and Property Information (NSW)  
 Aerial imagery data 19/11/2017 © Wollondilly Shire Council

Note: all hatched areas in Wollondilly Shire Council's LEP 2011 maps are issued above. All items may not be visible in the separate map.

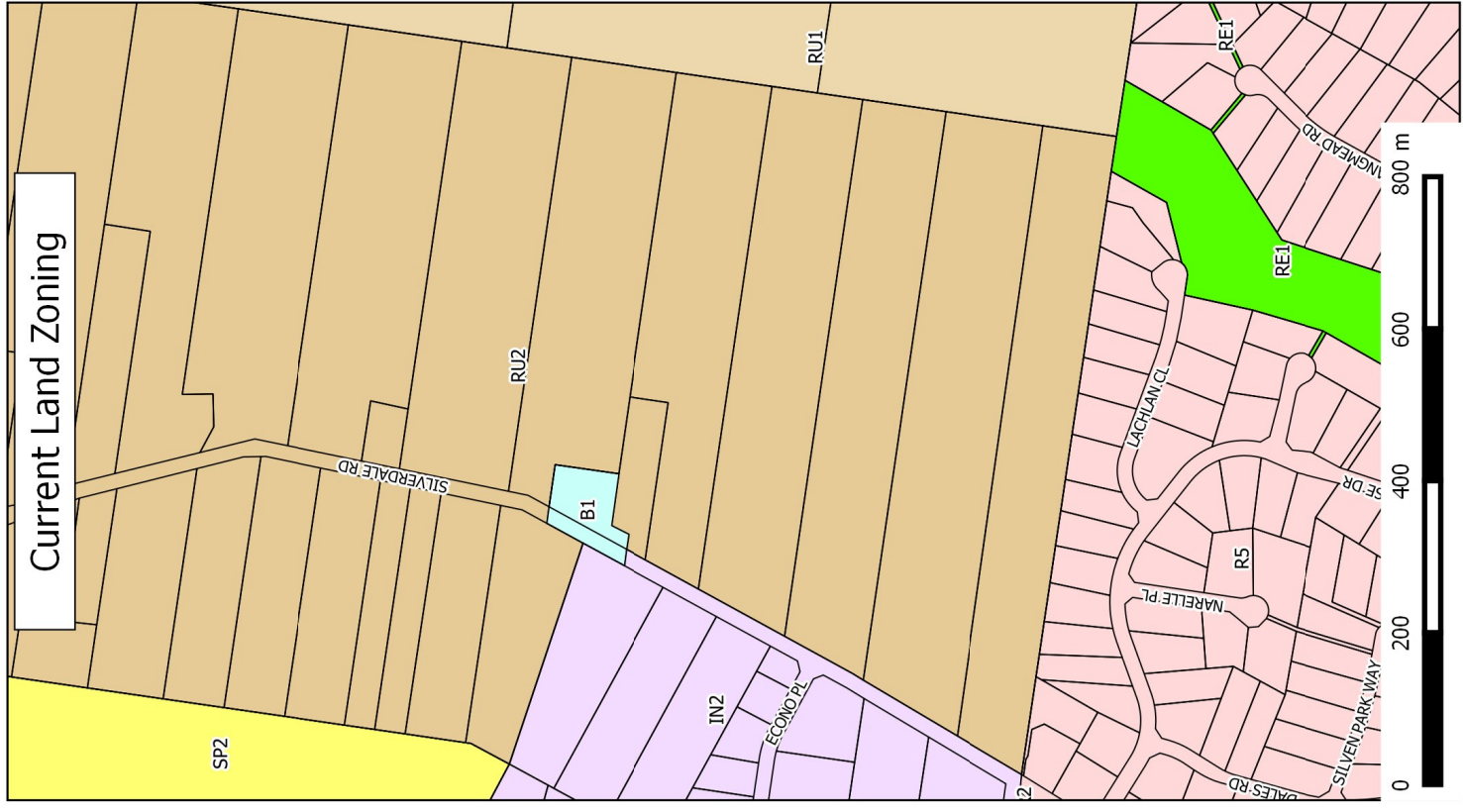
Map Produced: 16-11-2017



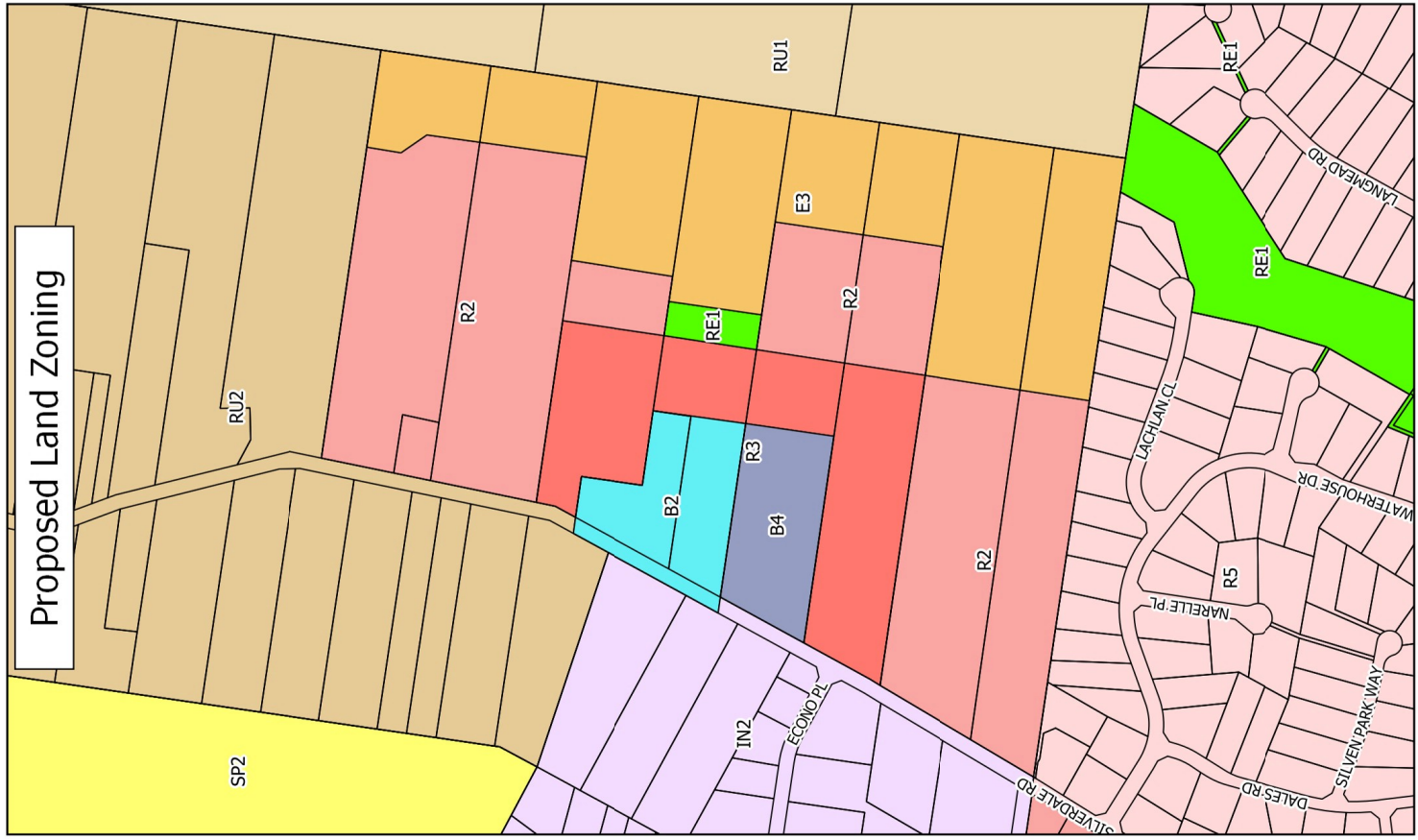
Project: LEP 2011  
 MGA Zone 56

Visit the website below to view the published map sheets listed above:  
<http://www.lg.nsw.gov.au/legislation/other-legislation/2011/lep-65>

### Current Land Zoning



### Proposed Land Zoning



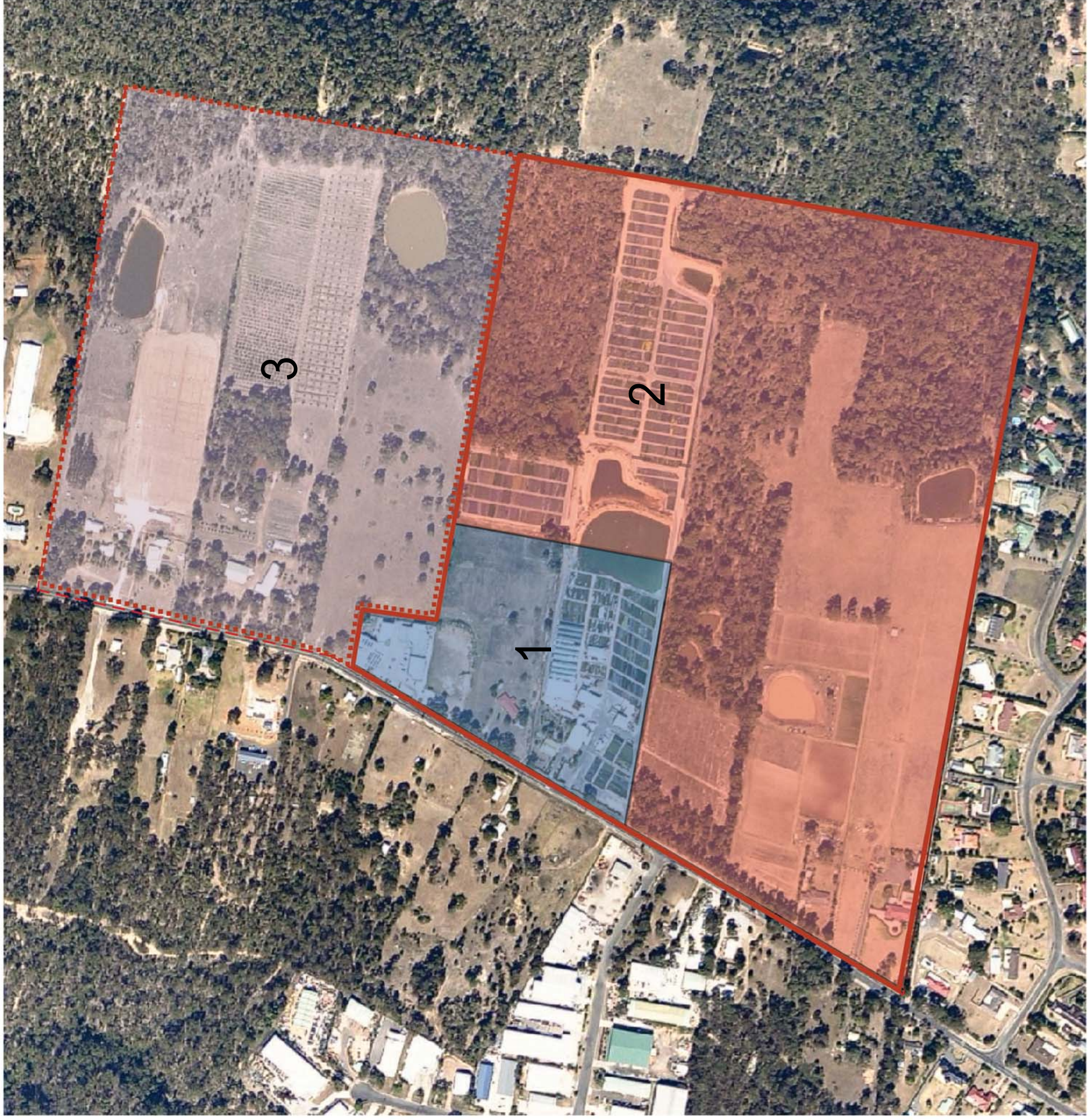




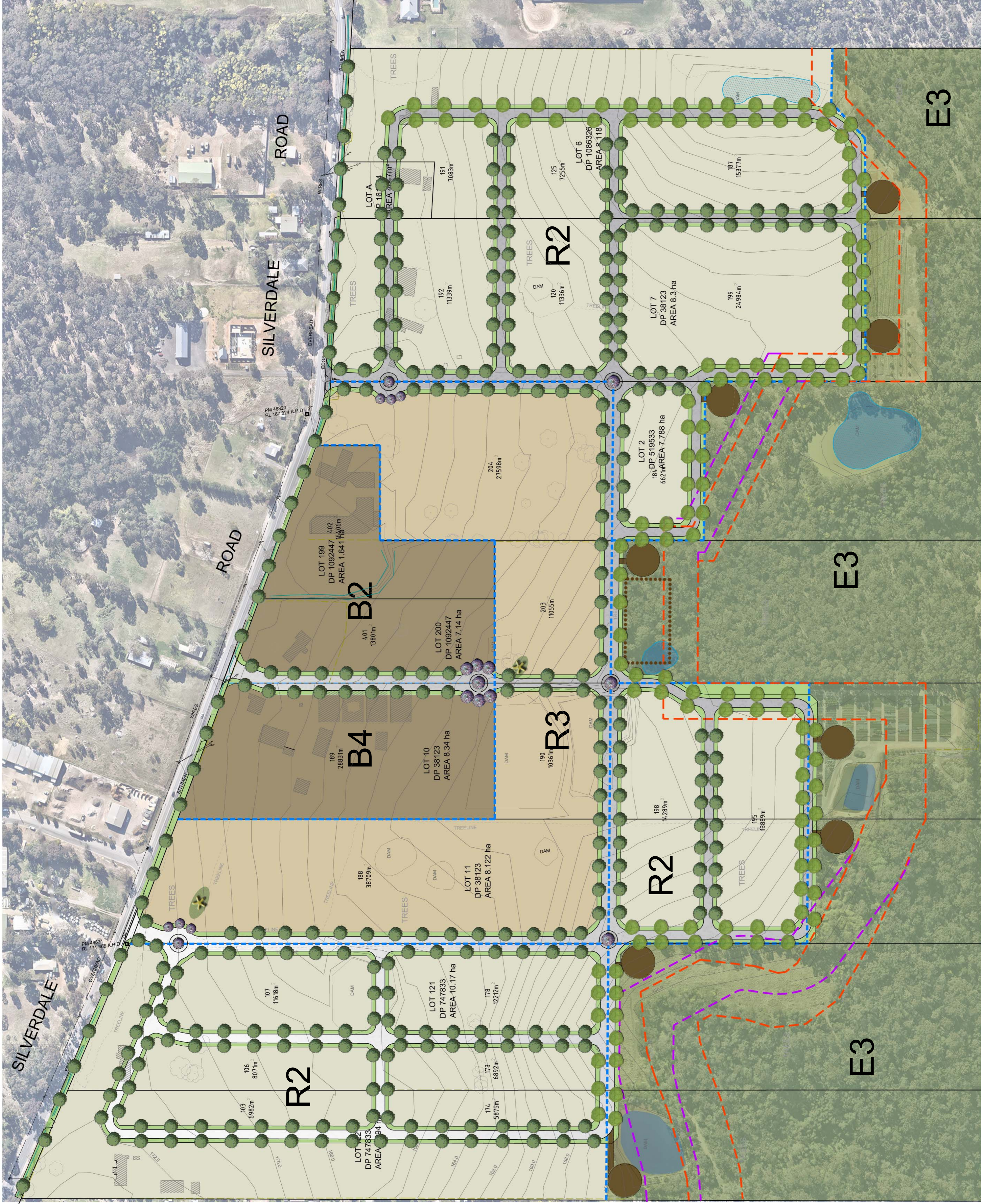


**LEGEND**

- 1** PRECINCT 1  
Retail - does not require further subdivision and therefore can be considered separate to DCP.
- 2** PRECINCT 2  
Residential and Environmental - requires DCP for subdivision development.
- 3** PRECINCT 3  
Northern Residential - requires odour considerations.







**LEGEND**

	R2 Zone
	R3 Zone
	B2 Zone
	B4 Zone
	E3 Zone
	PREVIOUS LINE OF APZ
	NEW LINE OF APZ
	ZONING BOUNDARY
	POSSIBLE BUILDING LOCATION
	EXISTING DAM
	STREET TREE
	STREET TREE (FIRE RETARDANT SPECIES WITHIN APZ)
	FEATURE TREE
	PARK / LANDSCAPING TO PROTECT CEREVILLIA JUNIPERINA SUBSP. JUNIPERINA (VULNERABLE TSC ACT), REFER BIOSIS.
	DWELLING ENTITLEMENT AND / OR PARK.

**SITE PLAN**  
1:1750



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landscape  
engineering  
planning

**SCALE**  
AS SHOWN  
AT A1

**DATE**  
14.03.2016

**PROJECT**  
NORTH SILVERDALE PLANNING PROPOSAL  
SILVERDALE ROAD, SILVERDALE

**CLIENT**  
NORTH SILVERDALE LANDOWNER GROUP

**PROJECT NO.**  
PM0004

**ISSUE**  
21.01.17

**ISSUE DESCRIPTION**  
client information

**ISSUE DATE**  
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OUT17/39540

29 September 2017

Mark Ruddiman  
Senior Strategic Planner  
Wollondilly Shire Council  
PO Box 21  
PICTON NSW 2571  
[mark.ruddiman@wollondilly.nsw.gov.au](mailto:mark.ruddiman@wollondilly.nsw.gov.au)

Dear Mr Ruddiman

**Planning Proposal – North Silverdale to rezone rural landscape for urban development near a medium size commercial poultry farm.**

In response to your correspondence of 28 August 2017, DPI Agriculture provides the following advice:

DPI Agriculture;

- Is concerned that the development will impact the commercial poultry farms to the north of the site due to complaints from residents/businesses experiencing odour and noise.
- Highlights that an EPA level 1 odour assessment undertaken by DPI indicates that odour could occur within 1700m of the poultry sheds. The proposed 500m buffer is not substantiated by evidence. A Level 2 or Level 3 odour modelling using CALPUFF may predict that odour would impact less land.
- Notes that there does not appear to be a noise impact assessment. The Industrial Noise Policy recommends that:  
*'In certain instances zoning for an area will allow multiple uses. For instance, some areas are classified as 'Rural' with industry-related land uses permissible, thus allowing rural uses (including a dwelling) and industries in the same area. In terms of noise the permissible uses may not be entirely compatible, and where this mix of development is permitted it may not always be possible to achieve the desirable noise criteria for receivers. In these instances, the noise levels that are achievable will be defined by applying all feasible and reasonable mitigation measures. It is highly recommended that the relevant consent authority consider the need to incorporate noise mitigation measures in noise-sensitive developments where such mixed development is permitted, for example, new residences proposed near industrial or commercial areas.* Page 19;  
[http://www.environment.nsw.gov.au/resources/noise/ind\\_noise.pdf](http://www.environment.nsw.gov.au/resources/noise/ind_noise.pdf)
- Informs Council that the Agricultural Suitability Mapping highlights that the site contains agricultural land class 3 suitable for cropping in rotation with pasture (Attachment) and there is evidence that the land has been used for growing crops.
- Recommends that, if the proposal proceeds, in relation to the Right to Farm, the council may need to provide some undertaking or assurance that any odour or noise complaints directed at the poultry farm as a result of the proposed rezoning do not compromise the normal operation of the farm.

For further information contact Andrew Docking, Resource Management Officer, 98428607 and see attachment for relevant guidelines:

Thank you for providing the opportunity to comment on the planning proposal.

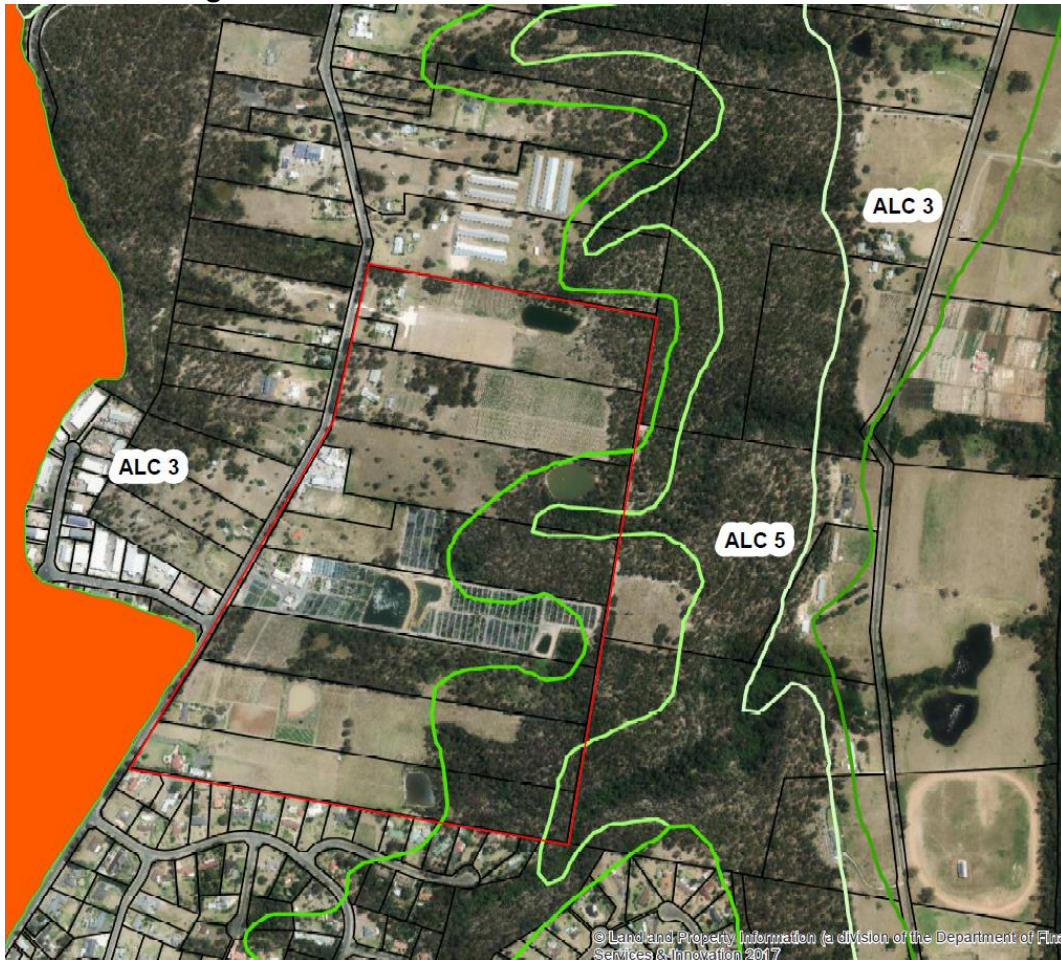
Yours sincerely



Lilian Parker  
**A/Manager**  
**Agriculture Landuse Planning**



**Attachment: Agricultural Land Class for the location.**



**Other references:**

- Land Use Risk Assessment Guideline, [https://www.dpi.nsw.gov.au/\\_data/assets/pdf\\_file/0018/412551/Land-use-conflict-risk-assessment-LUCRA-guide.pdf](https://www.dpi.nsw.gov.au/_data/assets/pdf_file/0018/412551/Land-use-conflict-risk-assessment-LUCRA-guide.pdf)
- Odour Assessment calculator, <http://www.epa.nsw.gov.au/air/odour.htm>
- Right to farm, land use planning and buffers for agriculture refer to the DPI website: <http://www.dpi.nsw.gov.au/land-and-water/land-use/lup>

19 September 2017

Lee Farrell  
Transport Planner, Freight, Strategy & Planning  
Transport for NSW  
BY EMAIL: [Lee.Farrell@transport.nsw.gov.au](mailto:Lee.Farrell@transport.nsw.gov.au)

## **PUBLIC EXHIBITION OF PLANNING PROPOSAL – TO REZONE LAND AT NORTH SILVERDALE**

---

Dear Lee

Roads and Maritime Services (RMS) refers to a letter from Wollondilly Shire Council dated 28 August 2017 and our subsequent phone discussion on 18 September 2017 regarding the above Planning Proposal (PP). RMS notes that the submitted PP seeks, in part, to rezone land to part B2 Local Centre, part B4 Mixed Use Development, part R2 Low Density Residential, part R3 Medium Density Residential and part E3 Environmental Management. The rezoning based on the assessment provided, enabling a mix of residential (up to 400 additional lots) and retail/commercial development (up to 5,950 square metres). RMS is providing the comments below to Transport for NSW (TfNSW) for inclusion in a whole of Transport response to Council.

As such, RMS has reviewed the documentation provided and offers the following comments for inclusion in a cluster response:

- **Silverdale Road:** RMS recognises that PP is not seeking to gain direct access to/from a state classified road with all access to be provided by an unclassified regional road (i.e. Silverdale Road) which is managed by Wollondilly Shire Council. Given the above, and having regard for the comments below in relation to traffic signals, RMS considers that it would be more appropriate for Council to determine whether or not the proposed access arrangements are acceptable from a network perspective (i.e. acceptable in terms of safety and efficiency).
- **Traffic signals:** RMS notes that the submitted Traffic Impact Assessment (TIA) prepared by Bitzios Consulting, dated 21 April 2017, in part, recommends the installation of traffic signals at the intersections of Silverdale Road/Central Access Road and the Silverdale Road/Farnsworth Avenue. In accordance with the provisions of Section 87 of the *Roads Act, 1993* RMS comment and approval will be required for the above works. Limited details have been provided at this time to enable a thorough assessment of the proposed signalised access arrangements. In this regard RMS would be happy to provide further comment as required and work with all stakeholders in the process (e.g. review electronic SIDRA modelling, review concept designs including geometry and phasing, etc).

**Roads & Maritime Services**



- Traffic assessment: RMS has reviewed the submitted TIA and provides the following comments:
  - SIDRA modelling has been undertaken for a number of intersections that will be impacted on by the PP, however no electronic copies of the SIDRA files have been provided. These files are required so they can be reviewed by both Council and RMS (i.e. RMS will review the files for the proposed traffic signals and associated network modelling files). It is unclear from the information provided if the modelling that has been undertaken utilises the SIDRA network model. RMS is of the opinion that the SIDRA network model should be used as the interaction between the three proposed access points to the land affected by the PP, its future traffic generation as well as existing intersections (e.g. Econo Place/Silverdale Road) need to be considered and addressed all together and not individually;
  - The developments future traffic generation rates have not been based on the updated land use traffic generation rates as detailed in RMS Technical Direction (TDT) 2013/4a. As a consequence the total trip generation rates in the TIA appear to be underestimated. As such, RMS recommends that these are updated and associated total trip generation rates, modelling, etc amended;
  - The estimated development in the proposed R3 zone appears to be underestimated (i.e. Table 2.2 estimates 100 residential units). The *Wollondilly Development Control Plan 2016* which applies to this land provides both a minimum and maximum dwelling density/yield for medium density development. The minimum density/yield would result in 219 units (25 x 8.7723 – lot area in hectares) with the maximum density/yield resulting in 395 units (45 x 8.7723 – lot area in hectares) which are both significantly above the 100 residential units used in the TIA. As such, RMS recommends that the above should be updated and associated total trip generation figures, modelling, etc amended; and
  - Previous correspondence provided by RMS (refer to letter dated 3 October 2013) required the identification of pedestrian, cyclist and public transport infrastructure that would be needed in association with any future development of the site. No information on the above has been provided in the submitted TIA or the PP report (see additional comments below).
- Promoting increased use of sustainable modes of travel: RMS strongly supports development which will reduce car dependency and encourage the use of sustainable modes of travel including buses, bicycles and walking. RMS therefore recommends that the PP ensure that it supports, to the greatest extent possible, the aims and objectives of the State Government policies dealing with this matter. This including, but not limited to, the provision of pedestrian footpaths, cycleway and public transport infrastructure (e.g. bus bays within the site). The updated information submitted with the PP provides limited details on the above (i.e. no plan showing proposed bus routes and bus stop locations, plans showing pedestrian/cycleway linkages and indicative cross sections). As such, RMS recommends that additional details in relation to the above be provided as part of the current PP;
- Infrastructure provision: RMS in its previous letter on the proposal dated 3 October 2013 recommended that Council do not support the PP until an infrastructure plan has been developed for the site as a whole. The updated information provided does not contain a

#### Roads & Maritime Services

response to this concerns or the requested infrastructure plan. As such, RMS again recommends that an infrastructure plan be developed for the site as a whole as part of the current PP.

- Developer contributions for road/transport improvements: Council should be satisfied that appropriate mechanisms are in place for developer funding of road/transport infrastructure improvements that may be required as a result of future development of the land covered by the PP (e.g. Planning Agreement, amendment to/creation of a Section 94 Plan, etc). It is noted from the submitted TIA that a range of road/transport infrastructure improvements will be required as a result of the PP. Having appropriate mechanisms are in place for developer funding of this required infrastructure will ensure that any necessary infrastructure upgrades required as a result of future development are provided. If appropriate planning mechanisms to obtain contributions for the upgrades are not established at rezoning stage, the opportunity for developers to contribute to necessary upgrades may be lost. This is likely to lead to unacceptable impacts to the road network. RMS notes that opportunities will exist under Clause 6.1 of the *Wollondilly Local Environmental Plan 2011* (WLEP 2011) to seek contributions for State public infrastructure as the PP seeks to include the site on the WLEP 2011 urban release area maps. As such, it is suggested that TfNSW have further discussions with RMS Sydney Strategic Land Use Team in relation to the above and opportunities to obtain contributions towards state infrastructure; and
- Western Sydney Airport: The PP is located in close proximity to the proposed Western Sydney Airport (WSA). The submitted TIA does not appear to consider the proposed WSA development in its forecast traffic volumes. This should be addressed in the TIA as well as the supporting SIDRA modelling. As such, it is suggested that TfNSW should have further discussions with RMS Sydney Strategic Land Use Team in relation to the above.
- RMS property comments: RMS does not have any current road proposal that would affect/require any of the land to which this PP relates.

If you have any further questions please contact Andrew Lissenden on 4221 2769.

Yours faithfully



Sharon Barbaro  
A/Manager Land Use  
Southern Region

Cc: [mark.ruddiman@wollondilly.nsw.gov.au](mailto:mark.ruddiman@wollondilly.nsw.gov.au)

**Roads & Maritime Services**



Table 3.3: Silverdale Road / Central Access Road Intersection SIDRA Results Summary

Peak Period	AM			PM		
	DOS	Average Delay (s)	95% Back of Queue (m)	DOS	Average Delay (s)	95% Back of Queue (m)
Central Access Road (East)	0.281	10.1	8.0	0.543	12.3	25.8
Silverdale Road (North)	0.188	1.9	0.0	0.384	0.9	0.0
Silverdale Road (South)	0.245	9.0	7.5	0.282	13.9	2.7

Given the volume of vehicles travelling south on Silverdale Road, it is apparent that there are few gaps for vehicles to exit from the development as indicated by the short queue length and high delay. Additionally, there may be safety issues relating to sight distance for vehicles on the eastern approach and queuing issues for vehicles from the south.

Based on the above, a signalised intersection would be recommended as shown below in Figure 3.4 noting the duplication of lanes on Silverdale Road.

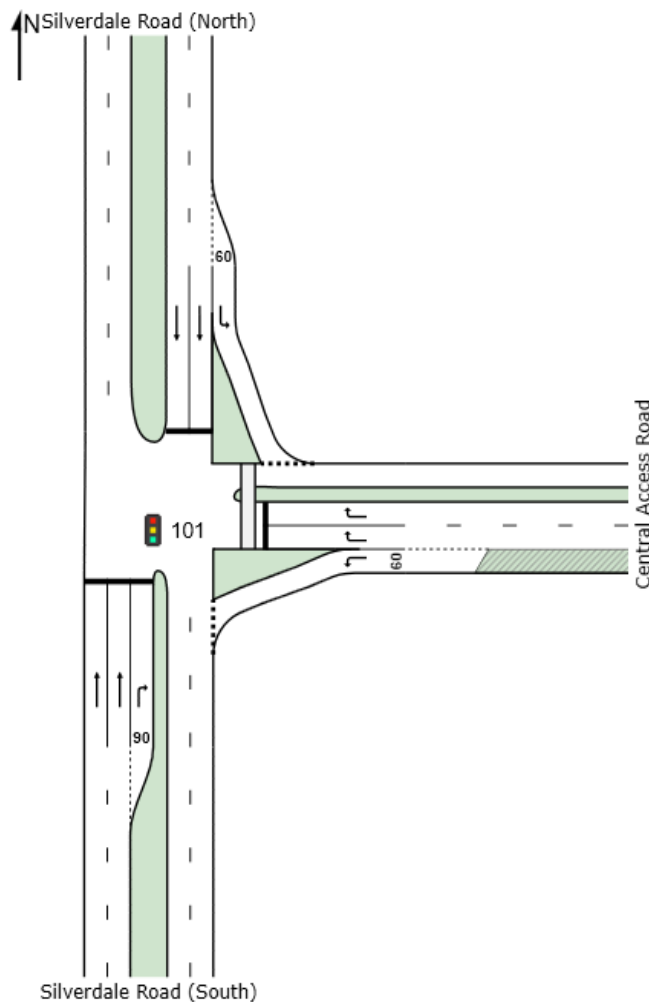



Figure 3.4: Silverdale Road / Central Access Road Intersection Geometric Layout

The results of the SIDRA analysis are presented in Table 3.4

Map Series to be Amended:  
Urban Release Area

Map Sheets to be Amended:  
8400\_COM\_URA\_006\_080\_20110204

**Urban Release Areas**  
 Urban Release Area

**Cadastre**  


Note: All legend items in Wollondilly Shire Council's LEP 2011 maps are listed above. All items may not be visible in the adjacent map.

Map Produced: 04-08-2017



Projection: GDA 1984  
MGR Zone 56

This map is a reproduction of the original map series. It is not a substitute for the original map series. All items may not be visible in the adjacent map.





# GR10 Attachments

1. Land Use zoning comparison map
2. Minimum Lot size comparison map
3. Proposed Natural Resources – biodiversity comparison map
4. Proposed Urban Release Area comparison map
5. Proposed site Specific Development Controls for the site (for inclusion in Wollondilly Development Control Plan, 2016)

**Monday 11 December 2017**

GR10 – Planning Proposal No 95 Great Southern Road, Bargo

Map Series to be Amended:  
Land Zoning

Map Sheets to be Amended:  
8400\_COM\_LZN\_008E\_020\_20110204  
8400\_COM\_LZN\_008L\_020\_20130715

Zone	Description
B1	Neighbourhood Centre
B2	Local Centre
B4	Mixed Use
B5	Business Development
E1	National Parks and Nature Reserves
E2	Environmental Conservation
E3	Environmental Management
E4	Environmental Living
IN1	General Industrial
IN2	Light Industrial
IN3	Heavy Industrial
R2	Low Density Residential
R3	Medium Density Residential
R5	Large Lot Residential
RE1	Public Recreation
RE2	Private Recreation
RU1	Primary Production
RU2	Rural Landscape
RU4	Primary Production Small Lots
SP1	Special Activities
SP2	Infrastructure

Cadastre  
 Cadastre (for para 0.08(2)(a)(i) LEP and Property Information (NSW))  
 Adjoining title (for para 0.08(2)(b) LEP and Property Information (NSW))

Note: all legal rights in individual title are shown in this map. All other rights in individual title are shown in the cadastral map. All other rights in individual title are shown in the cadastral map.

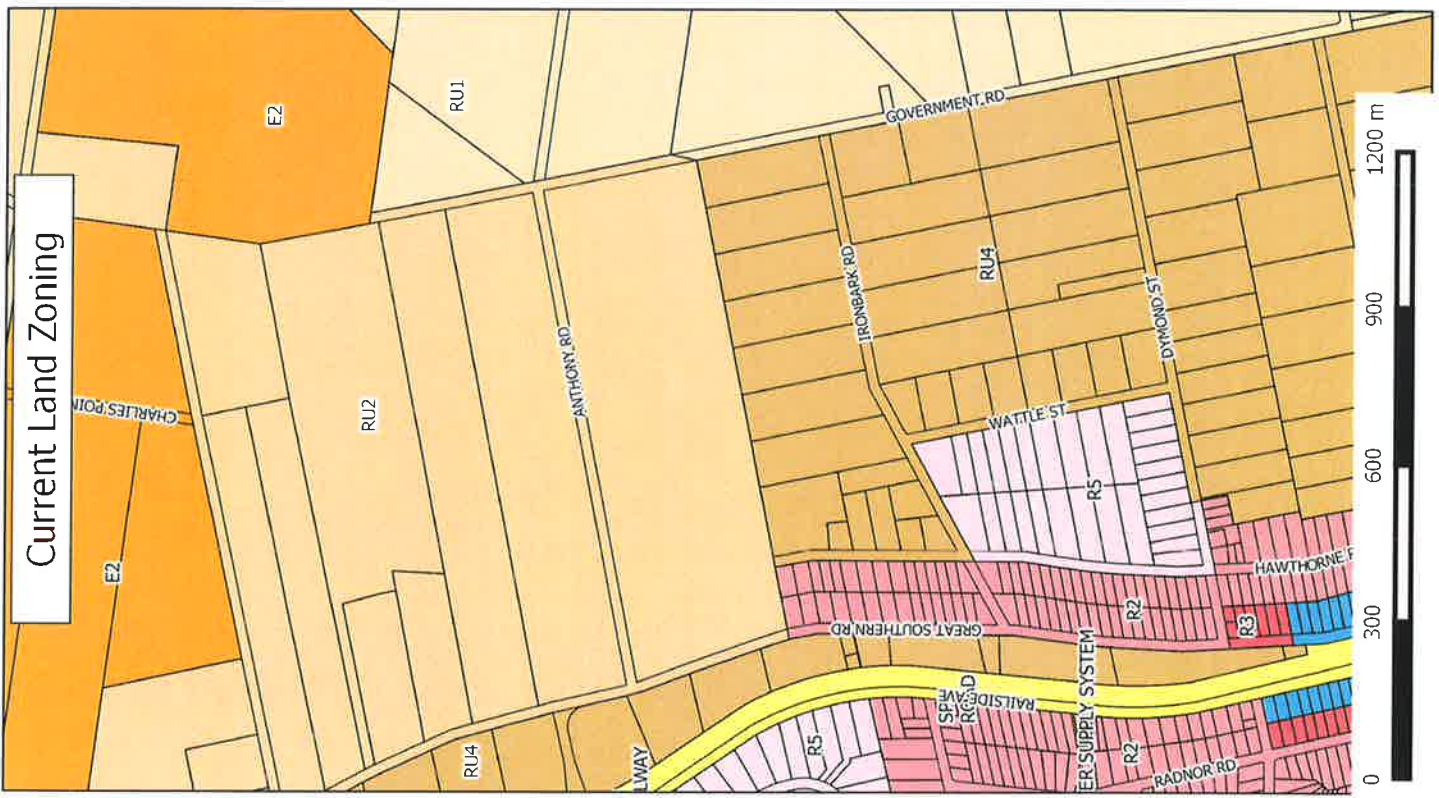
Map Produced: 03-07-2017



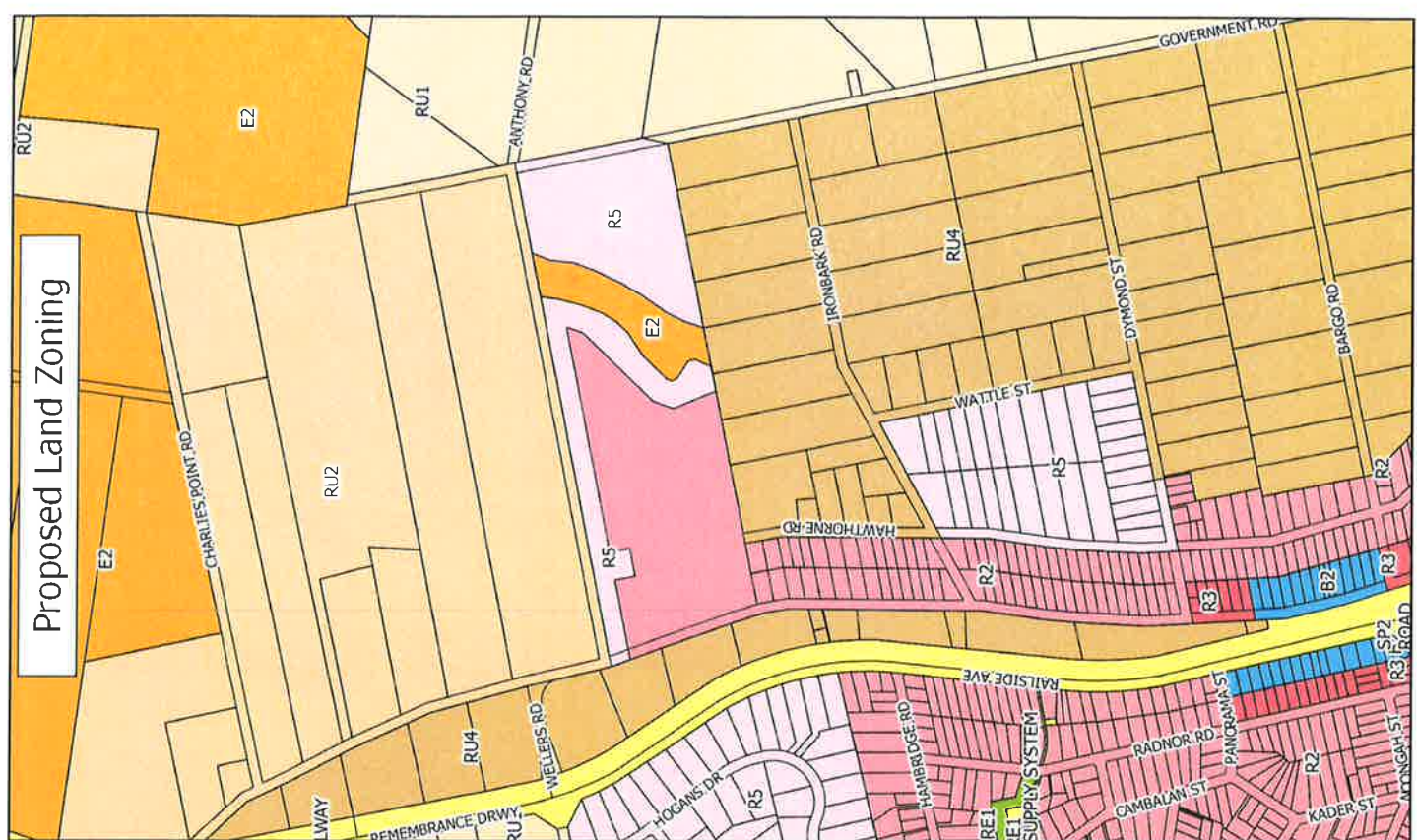
Proposed LEP 2011  
 14th April 2011

This map is intended to be used in conjunction with the proposed map sheets listed above.  
<http://www.wollondilly.nsw.gov.au/development/development/2011/lep2011/>

Current Land Zoning



Proposed Land Zoning









Map Series to be Amended:  
 Urban Release Area

Map Sheets to be Amended:  
 8400\_COM\_URA\_008\_080\_20160210

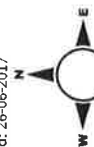
**Urban Release Areas**  
 Urban Release Area

**Cadastral**

 Cadastre  
Cadastre has data from 2014. Boundary information is from NSW  
 Aboriginal data 25/09/2017 © Wollondilly Shire Council

Note: All legend items in Wollondilly Shire Council's LEP 2011 maps are  
 listed above. All items may not be visible in the attached map.

Map Produced: 26-06-2017




Project: GDA, 1:50k  
 10/02/2016

This map is intended to be used in conjunction with the published map sheets listed above.  
 All items may not be visible in the attached map.






**Sensitive Land**

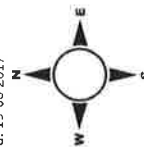
 Sensitive land

**Cadastral**

 Cadastral information (NSW)  
 Individual lots, lots 2011 & Property Shire Council

Note: all legends items in Wollondilly Shire Council's LEP 2011 maps are listed above. All items may not be visible in the attached map.

Map Produced: 19-06-2017



Prepared by: JPA  
 Date: 19-06-17

This map is intended to be used in conjunction with the map sheets listed above.  
 For more information, please contact the Planning Department on 027 451 6100.



## 95 Great Southern Road Planning Proposal DCP Controls

### Volume 2 – Urban Release Areas

Requirement of LEP	Control(s)
<p>(a) <i>A staging plan for the timely and efficient release of urban land making provision for necessary infrastructure and sequencing</i></p>	<ol style="list-style-type: none"> <li>1. The development may be undertaken in any number of stages.</li> <li>2. There is no particular requirement for any part of the precinct to be development before or after any other.</li> </ol>
<p>(b) <i>An overall transport movement hierarchy showing the major circulation routes and connections to achieve a simple and safe movement system for private vehicles, public transport, pedestrians and cyclists,</i></p>	<ol style="list-style-type: none"> <li>1. The road hierarchy shall be provided in accordance with the provisions contained in Part 2 of Volume 3 of this plan.</li> <li>2. The precinct shall be developed in a manner that accommodates road connections between Great Southern Road, Hawthorne Road through the precinct.</li> <li>3. The development shall include a main entry road off Great Southern road with the following minimum specifications:               <ol style="list-style-type: none"> <li>a. A 22m road reserve made up of the following components:                   <ol style="list-style-type: none"> <li>i. 2 x 3.5m verges</li> <li>ii. 2 x 5m road pavement</li> <li>iii. 1 x 3m median</li> </ol> </li> <li>b. The median is to be a landscaped rain garden.</li> <li>c. The road is to connect Great Southern Road with the E2 zoned part of the precinct.</li> </ol> </li> </ol>
<p>(c) <i>an overall landscaping strategy for the protection and enhancement of riparian areas and remnant vegetation including visually prominent locations, and detailed landscaping requirements for both the public and private domain.</i></p>	<ol style="list-style-type: none"> <li>1. The watercourse located within the E2 Environmental Conservation Zone is to be maintained to enhance its ecological value.</li> <li>2. The landscaping strategy for the public and private domains is to be in accordance with Volumes 1 and 3 of this DCP.</li> <li>3. Street trees shall be provided in accordance with the detail below:               <ol style="list-style-type: none"> <li>a. Main Entry Road:                   <ol style="list-style-type: none"> <li>i. No less than 4 trees per 10m of road length in the median rain garden chosen from the following species list:                       <ol style="list-style-type: none"> <li>1. Melaleuca decora</li> <li>2. Acacia melanoxylon</li> </ol> </li> </ol> </li> </ol> </li> </ol>



	<ul style="list-style-type: none"> <li>3. Allocasuarina littoralis</li> <li>4. Eucalyptus eugenioides</li> </ul> <ul style="list-style-type: none"> <li>ii. No less than 1 trees per 10m of road length in each verge chosen from the following species list: <ul style="list-style-type: none"> <li>1. Quercus rubra</li> <li>2. Acer rubrum 'October Glory'</li> <li>3. Pyrus calleryana 'Chanticleer'</li> <li>4. Lophostemon confertus</li> <li>5. Zelkova serrata 'Green Vase'</li> </ul> </li> </ul> <ul style="list-style-type: none"> <li>b. All other roads: <ul style="list-style-type: none"> <li>i. No less than 2.5 trees per 10m of road length in the verges chosen from the following species list: <ul style="list-style-type: none"> <li>1. Pyrus betulaefolia 'Southworth Dancer'</li> <li>2. Pyrus calleryana x betulaefolia 'Edgell'</li> <li>3. Lagerstoemia indica 'Natchez'</li> <li>4. Lagerstroemia indica 'Biloxi'</li> <li>5. Betula utilis var jacquemontii</li> </ul> </li> </ul> </li> </ul>
<p>(d) A network of passive and active recreational areas</p>	<p>Lots created by the future subdivision of the site would utilise the existing facilities at Bargo.</p>
<p>(e) Stormwater and water quality management controls.</p>	<p>These measures are to be provided in accordance with Sections 2.3 and 3.8 of Volume 3 of this plan.</p>
<p>(f) Amelioration of natural and environmental hazards, including bush fire, flooding and site contamination and, in relation to natural hazards, the safe occupation of, and the evacuation from, any land so affected.</p>	<p><u>Bushfire</u> Development is to comply with the most recent version of the NSW Rural Fire Service's Planning for Bushfire Protection.</p> <p><u>Flooding</u> Development is to comply with Part 8 of Volume 1 of this plan.</p> <p><u>Contamination</u></p>

	Development is to comply with State Environmental Planning Policy No. 55 – Remediation of Land.
<i>(g) Detailed urban design controls for significant development sites,</i>	<p><u>The brick silo</u></p> <ol style="list-style-type: none"> <li>1. The brick silo is to be retained on a single residential lot.</li> <li>2. Any new building on this residential lot must place new building work behind the silo with adequate setback to preserve a curtilage around it.</li> </ol>
<i>(h) Measures to encourage higher density living around transport, open space and service nodes</i>	The site contains no areas which are particularly desirable for higher density living.
<i>(i) Measures to accommodate and control appropriate neighbourhood commercial and retail uses.</i>	N/A
<i>(j) Suitably located public facilities and services, including provision for appropriate traffic management facilities and parking.</i>	The precinct will rely on existing facilities at Bargo.



### **Volume 3 – Subdivision**

1. Building envelopes shall be nominated for any proposed lots fronting Great Southern Road to ensure that a front setback from Great Southern Road is achieved which is consistent with the setback of existing dwellings facing Great Southern Road to the south.
2. Where any dwelling is proposed within 10 metres of Great Southern Road a Noise Assessment shall be submitted with a development application for a dwelling which demonstrates that the development would comply with the relevant noise criteria or attenuation measures that would apply to any future dwelling.
3. Any residential subdivision on the western side of the watercourse on the site shall be serviced by a Private Reticulated Sewerage Program (unless it can be demonstrated that Sydney Water can service the site, in which case connection to the Sydney Water reticulated Sewer network should be undertaken).
4. The subdivision of the site shall include the construction of a footpath along the Great Southern Road frontage of the site and this is to extend along Great Southern Road to connect with the existing footpath which terminates at the intersection of Great Southern Road and Dymond Street.
5. Any future fencing along the northern boundary of the site (i.e. along the boundary of the site with Anthony Road) is to be constructed of an open rural style such as post and rail with a height limit of 1.2 metres. No solid or metal fencing is permitted along this boundary.

Note: an exception to the above control may be made for any noise attenuation measures required in relation to the future waste transfer station at No. 25 Government Road should this facility commence.

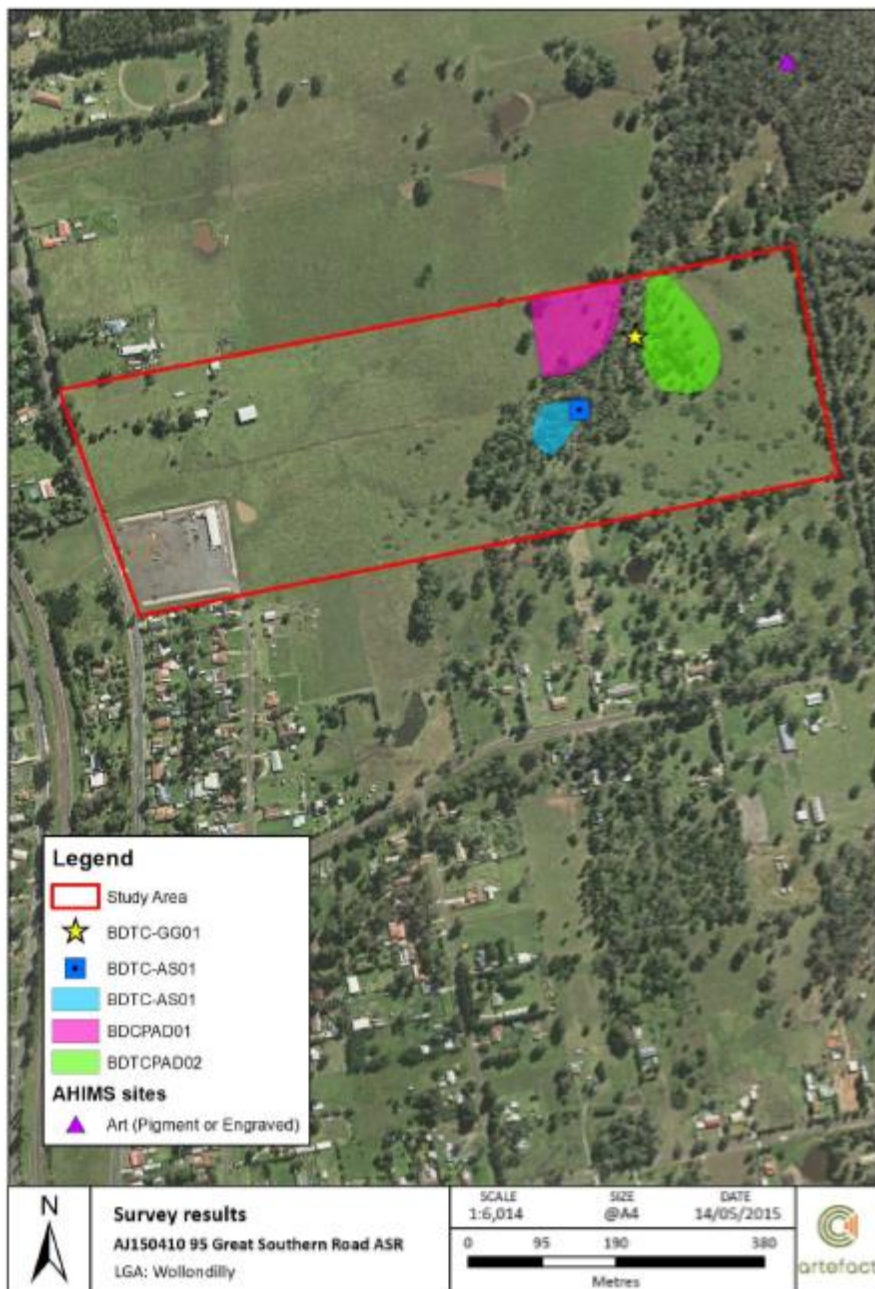
6. Any future residential lot created that includes part of the E2 zoned land on the site shall be subject to a suitable Vegetation Management Plan being submitted to Council which provides measures for the ongoing management and enhancement of the E2 zoned lands.
7. Any subdivision layout for the land to the east of the watercourse shall take all appropriate measures to retain the isolated pockets of Shale Sandstone Transition Forest (shown on the map below) within future lots:



Figure 3.5: Validated vegetation at subject site (Ecoplanning 2016).



8. The areas identified as AHIMS# 52-2-4194 (BDTC-GG01 (Bargo Dog Trap Creek Grinding Grooves 01) and AHIMS# 52-2-4195 BDTC-AS01 (Bargo Dog Trap Creek Artefact Scatter 01) in the Archaeological Survey Report prepared by Artefact Heritage (March, 2017) on the Plan below are to be conserved. If impacts are to occur in the vicinity of AHIMS# 52-2-4194 and AHIMS# 52-2-4195, mitigation measures such as a buffer zone and fencing should be implemented in order to protect the sites during the subdivision phase.
  
9. Should the areas below as BDC-PAD01 or BDC-PAD02 be disturbed as part of any future subdivision of the land, then test excavation under the Code of Practice is to be carried out in order to assess the nature and extent of the archaeological deposit and its archaeological significance.



# GR11 Attachments

1. Table summarising proposed DCP Amendments
2. Table outlining housekeeping amendments to Volume 8 (Agricultural and Rural Uses) arising from consultation with rural industry working group.
3. Amended table outlining development that does not require neighbour notification.
4. Table outlining when an application to modify consent should be notified to adjoining landowners.
5. Amended list of development controls for Secondary Dwellings.
6. DCP variation statistics (May, 2016 to May, 2017).
7. Wollondilly Development Control Plan 2016 (available on webiste).

**Monday 11 December 2017**

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GR11 – Review of Wollondilly Development Control Plan 2016  
– Housekeeping Amendments



## ATTACHMENT 1

### SUMMARY OF INTENDED CHANGES TO DEVELOPMENT CONTROL PLAN 2016.

#### Volume 1 General

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 1.3 Interpretation	N/A	<p>Add definition of building setback as follows:</p> <p><i>Means the horizontal distance between the relevant boundary of the lot and the building line.</i></p> <p><i>Setback area means the area between the building line and the relevant boundary of the lot.</i></p>	There is currently no definition which outlines how to determine a front setback.
Part 3 Variations to the Plan (Control 1)	<p>This part set out the requirements that an applicant needs to satisfy if submitting a development application which does not comply with a control in the Plan and also sets out requirements for Council in supporting an application which does not comply with the control. This Part currently states the following:</p> <p>1. <i>In cases where a variation to a control in this plan is sought, the applicant (or person acting on behalf of the applicant) must include in the development application a written request for Council to consider a variation to that control. The written request to vary a control in this plan must:</i></p>	<p>Amend this part to state the following (with changes coloured in red):</p> <p>1. <i>In cases where a variation to a control in this plan is sought, the applicant (or person acting on behalf of the applicant) <b>should provide as part of a written request which outlines:</b></i></p> <ul style="list-style-type: none"> <li>• <i>Identify the control being varied</i></li> <li>• <i>Outline the non-compliance with the relevant control</i></li> <li>• <i>Include reasons and justification for the non-compliance</i></li> </ul>	<p>It may not always be necessary for the applicant to provide a written request to vary a control. The proposed amendment to this control would also negate the need for the applicant to provide variation requests for controls that do not apply which would improve the efficiency of the assessment process.</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
	<ul style="list-style-type: none"> <li>• <i>Identify the control being varied</i></li> <li>• <i>Outline the non-compliance with the relevant control</i></li> <li>• <i>Include reasons and justification for the non-compliance</i></li> <li>• <i>Outline why compliance with the control is unreasonable or unnecessary in the case of their development</i></li> </ul> <p><i>Council may require additional supporting information to justify the request for variation.</i></p>	<ul style="list-style-type: none"> <li>• <i>How the development meets all of the relevant objectives of the DCP</i></li> <li>• <i>Outline why compliance with the control is unreasonable or unnecessary in the case of their development</i></li> <li>• <i>How the variation will not adversely affect impact on local amenity</i></li> </ul> <p><i>Council may require additional supporting information to justify the request for variation. It is in the applicant's best interest to provide Council with a written request.</i></p>	
Part 4.1 Development Applications to be Notified.	This clause sets out criteria which make certain types of development exempt from neighbour notification.	<p>It is proposed to add a variety of development types to the control which don't require neighbour notification should they meet a certain criteria. The development types to be added include:</p> <ul style="list-style-type: none"> <li>• <i>Home Occupations;</i></li> <li>• <i>Internal alterations to an existing building that do not affect the height, footprint or external appearance of the building;</i></li> <li>• <i>Minor commercial building alterations/additions (other than buildings which are a Heritage Item or within a Heritage Conservation Area);</i></li> </ul>	These types of development would often have minimal impact on adjoining landowners provided that they meet the criteria in attachment 3 and should be able to be determined without neighbour notification.



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
4.1 Development Applications to be Notified	<p>The control currently requires development on land which constitutes any of the following to be carried out, regardless of the type of development:</p> <ul style="list-style-type: none"> <li>• On land within a heritage conservation area;</li> <li>• Development on land which contains a heritage item;</li> <li>• Development on land that immediately adjoins a heritage item</li> <li>• Development on flood prone land;</li> <li>• Development that is inconsistent with any restriction on the title of the lot.</li> </ul>	<ul style="list-style-type: none"> <li>• <i>Change of use of an existing building from one type of commercial use to another type of commercial use within a business zone;</i></li> <li>• <i>Change of use from one type of light industry to another type of light industry within an industrial zone provided that the land does not adjoin any residential, rural, environmental or open space zone;</i></li> <li>• <i>Secondary dwellings in rural and environmental zones (on lots greater than 2ha in area);</i></li> <li>• <i>Minor environmental protection works;</i></li> <li>• <i>Signage</i></li> <li>• <i>Works that are required in response to an emergency situation (such as a natural disaster event, e.g. a flood).</i></li> </ul>	<p>In many cases, development in the area specified would not require notification if the development is minor and of minimal impact.</p> <p>There is no reason for minor development on flood prone land to trigger the need for neighbour notification.</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 4.1 Development Applications to be Notified	N/A (it is proposed to insert a control).	<p>Some other types of development (for example rainwater tanks and home occupations) should not require neighbour notification regardless of the land based criteria in the left column.</p> <p>Insert the following control in relation to development applications to be notified:</p> <p><i>“2. Neighbour notification may not be required for a development application where, in Council’s considered opinion, the potential for adjoining or nearby land to be adversely impacted by the development is considered minimal in terms of the following:</i></p> <ul style="list-style-type: none"> <li>• <i>Amenity (including noise, odour, hours of use);</i></li> <li>• <i>Suitability of the land for the proposed development;</i></li> <li>• <i>The siting of the proposed building in relation to the development of the site boundaries;</i></li> <li>• <i>The scale and bulk of the proposed development.</i></li> </ul> <p><i>Likewise, Council may require an application which would not require notification under the section above to be notified.”</i></p>	<p>There may be occasions where a type of development requiring advertising under this plan may require notification, but is of a very minor scale and nature and will have no impact on adjoining landowners and in these cases, Council should be capable of using its discretion as to whether neighbour notification is required.</p> <p>Alternatively, there may be occasions where a development not required to be advertised under this volume could have an impact on adjoining landowners and the relevant staff member will have the capacity under this clause to notify such an application.</p>



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 4.2 Requirements for Notification	This section outlines the procedural requirements for Council when undertaking notification of development applications.	<p>It is proposed to insert the following control at the end of this section:</p> <p><i>Where, in Council's opinion, an application may detrimentally affect property owners or occupants of land outside Wollondilly Shire Council's Local Government Area (LGA), Council will contact the neighbouring Council to provide them with sufficient information to enable them to adequately inform such property owners.</i></p> <p><i>The notification of property owners outside Wollondilly Shire Local Government Area regarding any application is at the discretion of the neighbouring Council.</i></p>	<p>The current DCP provides no procedures for notifying properties outside of the Local Government Area which adjoin or will be impacted by a development within Wollondilly Local Government Area.</p> <p>This may improve efficiency when notifying development applications as there will be a clearer process.</p>
Part 4.3 Development to be Advertised	<p>The current control denotes types of development requiring advertising including:</p> <ul style="list-style-type: none"> <li>• <i>Subdivision creating 5 or more lots (except for subdivision described in an exemption in Clause 4.1 in this plan)</i></li> </ul>	<p>Amend the wording as follows:</p> <ul style="list-style-type: none"> <li>• <i>Subdivision <b>resulting</b> in 5 or more lots (except for subdivision described in clause 4.1 or 4.2 of this plan).</i></li> </ul>	Clarify the number of lots within a subdivision which triggers the need for advertising.
4.3 Development to be Advertised	This section provides the types of development requiring advertising (i.e. in a local newspaper).	<p>It is proposed to delete the following from development types to be advertised:</p> <ul style="list-style-type: none"> <li>• Function centres;</li> <li>• Sewerage systems servicing or intending to service more than 2 dwellings</li> </ul>	Function centres should not be advertised development as they are only permitted in the business zones and the development would quite often be consistent with the area character.

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 4.3 Development to be Advertised	This section provides the types of development requiring advertising (i.e. in a local newspaper).	Add the following control in respect of development applications requiring advertising:  <i>'In circumstances where a minor development (such as an awning) is proposed to an existing lawful and established facility listed above, Council may use its discretion not to advertise the application provided that it is of minimal impact'.</i>	The current requirement to advertise sewerage systems only relates to sewerage systems for residential development and does not capture sewerage systems for commercial development. it is considered that sewerage systems (unless Designated Development) should not require advertising.  The current control requires development for the purposes of any of the types listed to be advertised in accordance with the plan (regardless of whether the use is existing or proposed).  In many cases, if the facility is existing and a minor development is proposed (such as alterations to a building or an awning) then in most cases it should not require advertising and the addition of this clause will allow some flexibility in this area.
Part 4.5 Development Applications Altered Prior	This part outlines procedures for notification of development applications which are amended prior to determination (but after they have initially been subject to notification).	It is proposed to amend the control as follows:  <i>Where a development application is altered prior to being determined (but after notification has been carried out), it must be re-</i>	The current control is too narrow and does not enable enough flexibility in establishing whether applications need to be re-notified if changed prior to determination.



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
<p>to Determination</p>	<p>The control currently states:</p> <p>Where a development application is altered prior to being determined, any community engagement required by this plan (be it notification or advertising) must be undertaken again prior to any granting of development consent unless the alterations are minor only. The notification of any such development must include writing to any prior submitters on the application. Minor changes involve changes that meet the following:</p> <ul style="list-style-type: none"> <li>☐ do not increase the size or height of any building associated with the development;</li> <li>☐ do not reduce the setbacks of any buildings associated with the development;</li> <li>☐ do not impact on solar access achieved by adjoining lands;</li> <li>☐ do not result in the change of location of any access driveway or proposed public road;</li> <li>☐ In the case of a subdivision of land, where the building envelope is not being moved closer to a boundary that adjoins the development site;</li> <li>☐ Do not result in any additional structures or uses that would form part of the development;</li> <li>☐ Would not significantly change the appearance or nature of the development;</li> </ul> <p><b>NOTE: Council may undertake re-notification where changes are made where Council considers that</b></p>	<p>notified where in Council's opinion, the amended development would have a greater impact as a result of the changes and it is in the public interest to do so.</p> <p>Where re-notification is required it must include writing to any prior submitters on the application.</p>	

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
<p>Part 4.6 Applications to Modify a Development Consent</p>	<p><b>notification of the changes is necessary and in the public interest to do so.</b></p> <p>The control currently states:</p> <p><i>Any person may lodge an application to modify a development consent under Section 96 of the Environmental Planning and Assessment Act, 1979 provided that the changes would result in substantially the same development as that originally approved. Council's requirements in relation to notification of an application to modify a development consent are as follows:</i></p> <ul style="list-style-type: none"> <li>▪ <i>Any application to modify a consent under section 96(1) of the Act (which involves the correction of minor errors, misdescriptions and miscalculations) does not require any notification to be carried out;</i></li> <li>▪ <i>An application to modify a consent under section 96(1A) of the Act (which involves changes that would have only a minimal environmental impact) would require as a minimum notification to any previous submitters;</i></li> <li>▪ <i>An application to modify a consent under Section 96(2) of the Act (which involves other changes) would require as a minimum notification to adjoining landowners and previous submitters;</i></li> <li>▪ <i>An application to modify a consent under Section 96(AB) of the Act (which involves modifications to</i></li> </ul>	<ul style="list-style-type: none"> <li>▪ It is proposed to retain the requirement which enables notification of any kind not to be carried out for a s96(1) application;</li> <li>▪ It is proposed to retain the requirement to notify previous submitters for a s96(1a), s96(2) or s96(AB) application, however, the requirement to notify adjoining landowners of a modification under s96(2) has been removed.</li> </ul> <p>It is proposed to retain the following control:</p> <p><i>Council may determine to carry out additional notification or advertising of any application under 96(1A), 96(2) or 96(AB) depending on the nature of the changes and whether Council sees it in the public interest to do so.</i></p> <p>However, it is proposed to also add the following additional control:</p> <p><i>Council may also determine <u>not to</u> notify previous submitters if the amendments are minor and if the changes do not relate to any of the issues originally raised in their submission.</i></p>	<p>It is an unreasonable for Council to have to notify all s96(2) applications to adjoining landowners, as all applications to modify a consent need to be substantially the same development.</p> <p>A clause has been added to enable Council not to notify to previous submitters where the change is minor and does not affect issues raised in previous submissions. This would enable modifications such as re-staging or minor changes to a façade of a building to be processed without notification.</p> <p>The control has been retained which enables Council to undertake additional notification (such as to adjoining landowners if necessary).</p>



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 9 Environmental Protection <b>(Control 9.3)</b>	<p><i>development consents issued by the Land and Environment Court) would require as a minimum notification to adjoining landowners and previous submitters;</i></p> <p><i>NOTE: Council may determine to carry out additional notification or advertising of any application under 96(1A), 96(2) or 96(AB) depending on the nature of the changes and whether Council sees it in the public interest to do so.</i></p> <p>The control establishes that any development application on a site that includes sensitive land mapped on the Natural Resources – Water Map under Wollondilly Local Environmental Plan 2011 with a riparian buffer distance, must include an accurate survey of riparian buffer distances to determine the exact location of the buffer which is to be measured from the top of bank of each side of the watercourse.</p>	<p>Please see the table in attachment 3 which is proposed to be added to the Draft DCP which provides clearer guidance as to when and in what form neighbour notification must be carried out for an application to modify consent.</p> <p>It is proposed to add the following text to the end of the control: <i>In circumstances where the applicant can provide evidence to the satisfaction of Council, e.g. advice from the NSW Office of Water or a Hydrological Report detailing that the waterway is insufficiently defined this control will not apply.</i></p>	<p>There have been sites where the watercourse is insufficiently defined to include a detailed survey of the riparian buffer distances and a variation to this control has been required.</p>

## Volume 2 – Urban Release Areas

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 2.1	Not applicable	Update section in the DCP relating to Bingara Gorge to reflect recent Court Case.	To ensure that Controls are consistent with Land & Environment Court Judgment and prevent unnecessary variation requests.

Part 2.5 Clearview (all controls)	Contains numerous controls for Clearview Planning Proposal site.	Delete whole part.	The Clearview Planning Proposal was refused by the NSW Greater Sydney Commission and will not be proceeding.
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### Volume 3 – Subdivision

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
N/A	This volume does not currently contain a section specifically relating to the subdivision of an existing dual occupancy development.	Include a section in the DCP volume that relates specifically to the subdivision of an existing dual occupancy development.	The subdivision of an existing dual occupancy development is currently assessed under the general subdivision volume. This means that the subdivision of an existing dual occupancy is often required to comply with a number of controls which should not apply.
3.6 Tahmoor East (Control 1)	This section of the DCP relates to a large residential release area in East Tahmoor.  The current control includes a structure plan with an indicative layout for roads, drainage etc which future subdivision applications must adhere to.	It is proposed to amend the structure plan.	The amended structure plan will reflect current approved subdivision applications and provide a more integrated road network.  The revised plan will result in less variation requests as the road locations in future subdivision applications will be able to connect with the roads already approved in previous applications and have greater regard for the constraints of the land.



<b>DCP Clause</b>	<b>Current Control</b>	<b>Proposed Amendment</b>	<b>Reason for Proposed Amendment</b>
3.6 East Tahmoor (Control 1)	<p>This section of the DCP relates to a large residential release area in East Tahmoor.</p> <p>The current control includes a structure plan with an indicative layout for roads, drainage etc which future subdivision applications must adhere to.</p>	<p>It is proposed to insert the following objectives under the control to accommodate the interpretation of the revised east Tahmoor Structure Plan:</p> <ul style="list-style-type: none"> <li>• <i>To provide a road network that maximises access for the general public and achieves a high level of permeability;</i></li> <li>• <i>To satisfactorily link with existing roads;</i></li> <li>• <i>To provide satisfactory public transport links throughout the precinct;</i></li> <li>• <i>To avoid isolating small sections of existing lots;</i></li> <li>• <i>To avoid inappropriate road locations which would disadvantage other landowners in the precinct and reduce the ability of other landowners to satisfactorily develop their land in the future.</i></li> </ul>	<p>To assist in the interpretation of the revised East Tahmoor structure plan and address concerns raised during the consultation period over the lack of flexibility over the road layout.</p>

#### Volume 4 – Residential Development

<b>DCP Clause</b>	<b>Current Control</b>	<b>Proposed Amendment</b>	<b>Reason for Proposed Amendment</b>
Contents Section	N/A	<p>The table at the front of the volume which describes certain lot types relating to various size ranges should be included in the contents page.</p> <p>Amend wording to state the following:</p> <p><i>1.1 to ensure that infill development does not detract from the existing landscape character.</i></p>	<p>Improve useability.</p>
1.2 Objectives	<p>Objective 1.1:</p> <p><i>1.1 To ensure that in-fill development is compatible with existing landscape characters.</i></p>	<p>Amend wording to state the following:</p> <p><i>1.1 to ensure that infill development does not detract from the existing landscape character.</i></p>	<p>Improve wording and useability of objective.</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
1.2 Objectives	Objective 1.2: <i>1.2 To establish an aesthetically pleasing landscape character for residential areas.</i>	Amend wording to state the following: <i>1.2 to enhance the landscape and streetscape character through considerate and attractive design.</i>	Improve wording and useability of objective.
1.2 Objectives	Objective 1.3: <i>1.3 To create attractive streetscapes and ensure that development does not dominate the landscape by excess bulk, height or inappropriate scale.</i>	Amend wording to state the following: <i>1.3 to create attractive streetscapes and landscapes through quality built form and by ensuring that development does not dominate through excessive bulk, height or inappropriate scale.</i>	Improve wording and useability of control.
1.2 Objectives	Objective 2.1: <i>2.1 To ensure that dwellings have access to car parking that is practical for occupants.</i>	Amend wording to state the following: <i>2.1 To ensure a clear path of travel between parking spaces and the dwelling.</i>	The current objective is unclear as to what is meant by practical for occupants.
1.2 Objectives	Objective 14.1: <i>14.1 to ensure that this plan is consistent with the framework established by State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i>	Amend to state the following: <i>14.1 to ensure that this plan is consistent with the framework established by State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 and the State Environmental Planning Policy (Affordable Rental Housing) 2009.</i>	Several controls (particularly those relating to Secondary Dwellings in residential zones and boarding houses) have been amended to improve consistency with the Affordable Housing SEPP and this should be reflected in the objective.
1.4 How to Apply this Volume	Identifies the lot size range which constitutes various types of lot types in the DCP. For example, lots less than 450 square metre lots are known as Town Centre Residential Lots. There are specific controls in the DCP for Town Centre Residential Lots and other types of lots.	It is proposed to amend Rural Lifestyle Lots from lots ranging from 4000 square metres to 2 ha to 4000 square metres to 19999 square metres.	Under the current table, lots which are 2ha in area could be interpreted as constituting Rural Lifestyle Lots or Rural Lots. The proposed amendment will avoid the possibility of any confusion.

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 2.2 Residential Development in the B4 Mixed Use Development Zone (Control 2)	<p>2. Attached dual occupancies (including ancillary developments) in the B4 Mixed Use Zone shall be assessed as though it were undertaken in the R2 Low Density Residential Zone.</p>	<p>Attached <b>and detached dual</b> occupancies (including ancillary developments) in the B4 Mixed Use Zone shall be assessed as though it were undertaken in the R2 Low Density Residential Zone.</p>	<p>There is an error in the current control. It only states attached dual occupancies in the B4 zone are to be assessed as though they are in the R2 zone, which means that there are no controls for detached dual occupancies in the B4 zone.</p>
Part 2.9 Non-Residential Development	<p><b>2.9 Non-Residential Development</b></p> <p><b>Objectives</b></p> <p>1. To ensure that residential developments are undertaken with due regard to other forms of development in the vicinity.</p> <p><b>Controls</b></p> <p>1. Development subject to this volume must demonstrate that it will not result in unreasonable impacts on existing non-residential development in the vicinity including (without limitation):</p> <ul style="list-style-type: none"> <li>a. Agriculture</li> <li>b. Education Facilities</li> <li>c. Recreation Facilities</li> <li>d. Industries</li> <li>e. Business Undertakings.</li> </ul>	<p><b>2.9 Land Use Conflict</b></p> <p><b>Objective</b></p> <p>1. To reduce potential land use conflict with an existing adjoining land use.</p> <p><b>Controls</b></p> <p>1. Residential development shall not impede the operation of existing non-residential development in the vicinity including (without limitation):</p> <ul style="list-style-type: none"> <li>a. Agriculture</li> <li>b. Education Facilities</li> <li>c. Recreation Facilities</li> <li>d. Industries</li> <li>e. Business Undertakings.</li> </ul>	<p>The control has been re-worded so that its intent is clearer.</p>
2.10 Special Requirements for Parking	<p>1. Where a door is provided which has direct access (within 3 metres) to a parking</p>	<p>Delete Control</p>	<p>There are several reasons for this control being deleted as follows:</p>



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
<p>Areas near Dwellings</p>	<p>area, the door shall be consistent with the following requirements:</p> <p>a) The door leaf shall swing into the dwelling and not into the garage or parking area; and</p> <p>b) No sliding or concertina door of any type shall be used; and</p> <p>c) The door leaf shall be fitted with a hydraulic self-closing fixture that is a minimum size 2 spring strength in accordance with AS4145.5.</p> <p>Note: In the case of unusually high or heavy doors, windy or draughty conditions, or special installations a larger power size of door closer should be used; and</p> <p>d) Any door latch or passage set shall be installed at a minimum of 1500mm above finished floor level; and</p> <p>e) Any bolt or function that could, in normal usage, render a door leaf non-self-latching shall not be incorporated.</p> <p>Note: A non-self-latching bolt (e.g. a dead bolt) will prevent the door from closing if left protruding while the door is open. Any electrically operated locking devices or bolts shall be self-latching in the event of power failure and any activation switches</p>		<ul style="list-style-type: none"> <li>• There is no requirement for a dwelling that is completed as complying development under the Exempt and Complying Code to meet such a requirement;</li> <li>• The Building Code of Australia has not included any requirements for child latches to residential development. The BCA does include child restriction devices for first floor windows, so there are conditions in there relating to child safety issues but no such requirement for a front door.</li> <li>• The control is unreasonable for a person building a house where children are not currently, or are unlikely to ever live in the house.</li> <li>• The control places an unreasonable cost and time constraint in people constructing a single dwelling on a site.</li> </ul>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
	<p>installed 1500mm above finished floor level; and  f) If pairs of doors are used both leaves are to be self-closing and self-latching and shall include a selective sequence closing device.</p> <p><b>Note:</b> For the purpose of this control a parking area includes, but is not limited to an attached or detached garage, car port or an open hardstand car parking space.</p>		
<p>3.7 Ancillary Buildings (Town Centre Residential Lots, Residential Small Lots and Standard Residential Lots) <b>Control 5.</b></p>	<p>Control 5:  Any façade visible from any public road must have no stretch of straight wall greater than 10.0 metres in length.</p>	<p>Delete Control.</p>	<p>The maximum floor area for an ancillary building on a town centre residential, residential small lot or standard residential lot is 120m<sup>2</sup>. It would be unreasonable in many cases to require articulation in the wall for a wall of around this length. A straight wall of this length would likely have minimal impact in residential zones.</p>
<p>3.7 Ancillary Buildings (Town Centre Residential Lots, Residential Small Lots and</p>	<p>Control 10 states the following:  Ancillary buildings shall be located no less than 1.0m behind the front building line of the dwelling on primary road frontages and the secondary front building line for secondary frontages.</p>	<p>Amend to state the following:  Ancillary buildings shall be located no less than 1.0m behind the front building line of the dwelling on the primary road frontage.</p>	<p>On smaller residential lots it is unreasonable in many cases to require a shed to be behind the frontage of the dwelling on the secondary street of a corner lot. Particularly in situations where the dwelling may be setback may be</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Standard Residential Lots) <b>Control 10.</b>		<i>Ancillary buildings shall be setback no less than 1.0 on the secondary street frontage on corner lots.</i>	setback a substantial distance from the secondary street frontage.
3.7 Ancillary Buildings (Town Centre Residential Lots, Residential Small Lots and Standard Residential Lots) <b>Control 11.</b>	Control 11 states the following: <i>Ancillary buildings shall be set back in accordance with the requirements of the Building Code of Australia.</i>	Amend to state the following: <i>Ancillary buildings shall be achieve a side and rear set back in accordance with the requirements of the Building Code of Australia.</i>	This control is amended to make it clear that the control applies to rear and side setbacks only and not front setbacks.
3.7, 3.8 and 3.8 Ancillary Buildings on all lots <b>(Maximum permissible floor area control).</b>	Each of these sections contains a control prescribing a maximum floor area.	It is proposed to amend this to roof area.	The current application of floor area only applies to the enclosed area of a structure, which has resulted in applications proposing large awnings attached to the shed by which there are no controls.  The floor area captures mezzanine areas within the shed, which is not the intent of the control. The intent of the control is to protect the appearance and visual impact of the structure.



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 3.8 Ancillary Buildings (Large Lot Residential Lots) <b>Control 5.</b>	Control 5 currently states: <i>Any façade visible from any public road must have no stretch of straight wall greater than 10.0 metres in length.</i>	Delete Control.	The length of walls will likely be determined by the maximum floor area control. The likely length of the wall of an ancillary building that complies with the maximum floor area would be unlikely to require a break in the wall.
Part 3.9 (Rural Lifestyle and Rural Lots) <b>Control 7.</b>	Control 7: <i>Ancillary buildings shall be located no less than 5.0m behind the front building line of the dwelling on primary road frontages.</i>	Amend to state the following:  Ancillary buildings shall be setback no less than 1.0m behind the front building line of the main dwelling on the primary road frontage.	On rural lifestyle and rural lots, the dwelling is often located a substantially distance from a Secondary Street boundary (and in many cases a primary street boundary as well). The requirement for an ancillary building (particularly a detached garage or minor structure) to be located behind both street frontages on a corner lot is too onerous.
3.9 (Rural Lifestyle and Rural Lots) <b>Control 8</b>	Control 8: <i>Ancillary buildings shall be located no less than 1.0m behind the front building line of the secondary street frontage on corner lots.</i>	Replace with the following:  Ancillary buildings shall be located no less than 5.0m from the secondary street frontage on Rural Lifestyle Lots and 10.0m from the secondary street frontage on Rural Lots on corner lots.	The control requiring the secondary frontage setback on corner lots to be behind the building line of the dwelling is onerous, particularly in cases where the building line of the dwelling is a large distance.
3.9 (Rural Lifestyle and Rural Lots) <b>Control 9</b>	Control 9:  This control states the following:	Amend to state the following:  <i>Ancillary buildings shall be set back no less than 5.0m from side and rear boundaries. A side setback of 2.5m will be</i>	There are some lots in rural zones (particularly a section of rural zoned land in Douglas park) which incorporates long and narrow lots and a reduced setback for ancillary

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
	<p><i>Ancillary buildings shall be set back no less than 5.0m from side and rear boundaries.</i></p>	<p><i>considered for narrow lots which are 25.0m or less in width.</i></p>	<p>buildings on these sites is considered appropriate.</p>
<p>Part 3.10 (Single Dwellings on Battle axe allotments) <b>Control 8.</b></p>	<p>Control 8 currently states the following in regards to single dwellings on battle-axe lots:  <i>The minimum setback to the front and rear boundaries shall be 3.0 metres.</i></p>	<p>It is recommended that it be re-worded as follows:  <i>The minimum setback to the front and rear boundaries shall be 3.0m.</i>  <i>In this control the front boundary refers to the rear boundary of the lot immediately forward of the subject lot in a battle axe style subdivision.</i></p>	<p>Provide greater clarity of the control.</p>
<p>Part 3.12 Car Ports <b>Control 5</b></p>	<p>Control 5 states the following:  <i>Car Ports shall be setback a minimum of 1 metre behind the front building line of the dwelling or 5.5 metres from the front street boundary, whichever is greater.</i></p>	<p>It is proposed to amend the control to state the following:  <i>Car Ports shall be setback a minimum of 1 metre behind the front building line of the dwelling.</i></p>	<p>On smaller lots (for example town centre residential lots where the minimum setback for a dwelling is 3.0m), the 5.5m setback requirement for a carport is unreasonable. The car port still needs to be at least 1m behind the front building line of the house under the amended control.</p>
<p>Part 3.14 Secondary Dwellings <b>(Whole Part)</b></p>	<p>Whole Section</p>	<p>See attachment 3</p>	<p>The following amendments have been made to the section relating to Secondary Dwellings:</p> <ul style="list-style-type: none"> <li>It has been split into two sections (one section for residential zones other than R5 and the other for rural, environmental and R5 zoned land);</li> </ul>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
			<ul style="list-style-type: none"> <li>The residential section has been made consistent with the State Environmental Planning Policy (Exempt and Complying Development Code) (with the exception of levels of cut that are allowed);</li> <li>Several onerous controls have been removed.</li> </ul> <p>These amendments have been reflected in two new sections (Secondary Dwellings in Residential Zones other than R5 zones, and Secondary Dwellings in Rural and Environmental Zones) which are outlined in attachment 3.</p>
Part 3.15 (Dual Occupancy Development in R2 and R3 zones) <b>Control 3</b>	<p>The control currently states:</p> <p><i>For proposed dual occupancy dwellings in which the configuration of the two dwellings would be side by side, the minimum frontage of the original lot shall be no less than 24 metres.</i></p> <p><i>No more than 50% of the front façade shall be garage doors.</i></p>	<p>It is proposed to add the following additional text to the control:</p> <p><i>“ ... so that each dwelling shall be on a subdivided lot which has a minimum frontage of 12m”.</i></p>	<p>Provide greater clarity of control and when it applies.</p>
Part 3.15 (Dual Occupancy Development in R2 and R3	<p><i>No more than 50% of the front façade shall be garage doors.</i></p>	<p>Amend to state as follows:</p> <p><i>No more than 50% of the front façade <b>for each dwelling</b> shall be garage doors.</i></p>	<p>Provide greater clarity of the control.</p>



DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
zones) Control 17			
3.15 (Dual Occupancies in R2 and R3 zones) Control 18	<p>Control 18 currently states the following:</p> <p><i>The number of garage doors visible to the street shall be limited to 3. In this control a double garage door shall be counted as 2 doors.</i></p>	<p>Amend to state the following:</p> <p><i>The number of garage doors visible to the street <b>from the total development</b> shall be limited to 3. In this control a double garage door shall be counted as 2 doors.</i></p> <p><i>This control does not apply to corner lots where each dwelling is facing onto alternate streets.</i></p>	<p>Provide greater clarity of whether the control applies to each individual dual occupancy dwelling or the total development.</p>
3.17 Medium Density Development (Control 16)	<p>Control 16 states the following:</p> <p>16. Medium Density Developments must not:</p> <ul style="list-style-type: none"> <li>• Have a repeated façade;</li> </ul>	<p>It is proposed to amend the control to the following:</p> <p>16. Medium Density Developments must not:</p> <p>Have a repeated façade;</p> <p>In medium density developments involving a large number of dwellings, repeated façades may be considered throughout the development provided that there are no repeated façades in a row of dwellings which face a public road.</p>	<p>It may be reasonable for some dwellings in large medium density developments to have some dwellings with the same or a similar design provided that these do not face the street.</p>
Part 3.17 Medium Density Development (Controls 18-20)	<p>Controls 18 through to 20 state the following:</p> <p>18. Where there is a dwelling on each adjoining lot, the setback for the dwelling(s) fronting the primary road shall be the average setback of the</p>	<p>It is proposed to replace these controls with the following:</p> <p>The minimum front setback for the dwelling closest to the street in a medium density development is 6.5 metres.</p> <p>Minor ancillary structures such as bin storage enclosures, postal box facilities etc may be located within the front</p>	<p>Medium Density Development in only permitted in the R3 Medium Density Zones across the Shire and most of these are located around existing, established townships.</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
<p>existing adjoining dwellings plus or minus 10%. Such a setback shall be no less than 4.5m.</p> <p>19. Where there is a dwelling on one adjoining lot the front setback for the dwelling(s) fronting the primary road shall be plus or minus 10% of the setback of the adjoining dwelling. Such a setback shall be no less than 4.5m.</p> <p>20. Where there is no dwelling on an adjoining lot the front setback for the dwelling(s) facing the primary road shall be 4.5m for a lot with an area less than 900m<sup>2</sup> and 6.5m for other residential lots.</p>	<p>The control currently states:</p> <p>Shop top housing must only be provided <b>with</b> 400m of an area of eligible public open space. In this clause <b>eligible public open spaces</b> means an area of public park with an area no less than 3,000m<sup>2</sup> and with children's play equipment and restrooms. Nothing in this control prevents an applicant from proposing</p>	<p>setback treatment. Council may require such structures to be screened through suitable landscape planting or other means.</p>	<p>The front setbacks of existing dwellings in these areas are typically quite deep, and if the front dwelling of a new medium density development is located within +/- 10% of the existing dwellings on adjoining lots then the additional dwellings in the medium density development in many cases would not be possible, which would be contrary to the objectives of the R3 zone.</p>
<p>Part 3.20 <b>(Control 6)</b></p>		<p>Amend the word "with" to say "within".</p>	<p>Amend grammatical error.</p>

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
	<i>works to enhance a public park to make it an eligible public open space.</i>		

#### Volume 5 – Commercial and Community Uses

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 2.3 <b>(Control 7)</b>	<p>The current control states the following:</p> <p><i>Commercial developments must have active frontages for the majority of the total frontage of the development to public spaces including roads and reserves. An active frontage must have a minimum of 75% glazing area which must be transparent.</i></p>	It is proposed to amend the minimum glazing requirement to 50%.	The requirement for such a large portion of the front of a building to provide glazing is quite onerous and limits the ability for a façade to be treated or activated by other measures. The requirement for 75% of a building frontage to be glazed is difficult to achieve for small commercial buildings and has been varied numerous times. 50% is considered more appropriate.

#### Volume 6 – Tourism and Events

DCP Clause	Current Control	Proposed Amendment	Reason for Proposed Amendment
Part 3.5 Events <b>(Objective 2)</b>	<p>This objective states the following:</p> <p>2. <i>To ensure markets don't have environmental impacts.</i></p>	It is proposed to delete the word "market" and replace with the word "event".	Appears to be a typographical error.

#### Volume 7 – Industry and Infrastructure Uses



No amendments proposed.

**Volume 8 – Primary Agricultural and Rural Uses**

It is proposed to amend several controls in this volume. These are detailed in attachment 2. These changes reflect the discussions with RICAC during the consultation period.

## ATTACHMENT 2

### Proposed Amendments to Development Control Plan Volume 8 – Agricultural and Rural Uses

Proposed Amendments which are considered to fall within Housekeeping Amendments:

DCP Clause	Current Control	Proposed Amendment	Reason for proposed Amendment
Part 3.3 (Section 3.3.1 Siting and Setbacks) Control 1	The control imposes a setback requirement for Intensive Livestock Agriculture of 500 metres from all Residential zones.	Include after all residential zones ( <i>R1, R2, R3, R4 and R5</i> )	To make it clear which land use zones are considered residential for the purposes of this control.
Part 3.3 (Section 3.3.1 Siting and Setbacks)	Control 2:  <i>Development must be in accordance with the “Blue Book” Code of Practice for Animal Care produced by the Department of Primary Industries</i>	<i>Development must be in accordance with the Department of Primary Industry Codes of Practice.</i>	There is currently no Blue Book Code of Practice for animal care. DPI has advised that they previously had a blue book called Animal Care that related to standard operating procedures for Departmental Officers using animals in research. It was never intended to use for general animal welfare matters.
Part 3.3 (Section 3.3.2 Noise, Odour and Dust)	Control 9:  <i>Where practical, major truck deliveries and produce transport should be scheduled between the hours of 7am to 6pm weekdays, 7am to 1pm Saturdays. It is noted that exceptional circumstances may mean deliveries are conducted outside these hours on occasions’</i>	<i>Where practical, major truck deliveries and produce transport should be scheduled between the hours of 7am to 6pm weekdays and 7am to 1pm Saturdays provided that these hours do not contravene animal welfare practices. It is noted that exceptional circumstances may result in a need to undertake deliveries outside these hours on occasions’</i>	To ensure that hours of delivery consider animal welfare matters.
Part 3.3 (Section 3.3.2 Noise, Odour and Dust) Specific Controls for Poultry Farms Control 4	This control currently states:  <i>The type of litter material chosen for shed floors must have regard to its propensity to produce dust.</i>	It is proposed to replace the word ‘propensity’ with ‘potential’.	Plain English and clarity.

Part 3.3 (Section 3.3.3 Soil, Waste and Water Management) Control 8	This control currently states:  <i>"Prompt and safe disposal of feed by-products is to be arranged where recycling is not possible to avoid the harbouring of pests and vermin"</i> .	Delete control	It is proposed to delete the control as it is not clear what is meant by feed by-products.
Part 3.3 (Section 3.3.4 Transport and Access) Control 3	This control currently states:  <i>"The timing and manner of transport activities associated with the development including the frequency, times, routes and number of animal deliveries and pick-ups, feed deliveries and clean-outs must take into consideration the impact on adjoining neighbours"</i> .	It is proposed to amend the control to state the following:  <i>The timing and manner of transport activities associated with the development including the frequency, times, routes and number of animal deliveries and pick-ups, feed deliveries and clean-outs must take into consideration the impact on the nearest receptors without sacrificing animal welfare and best practice.</i>	Adjoining neighbours is amended to nearest receptors to ensure that the full suite of impacts is considered.  The amended control will also ensure that hours of delivery consider animal welfare matters.
Part 3.3 (Section 3.3.5 Landscaping) Control 1	The control currently requires a vegetative screen along site boundaries to be made up of <i>rows of vegetation to be established and maintained.</i>	<i>Amend wording to say that a minimum of one row of vegetation can be provided.</i>	The current control is unclear as to how many rows can be provided to establish a screen.
Part 3.4 Intensive Plant Agriculture Section 3.4.1 Control 1	The setback table imposes a front, side and rear building setback for Intensive Plant Agriculture.	It is proposed to amend the wording to state 'Boundary Setback'.	Provide improved clarity over where the setback should be measured from.
Part 3.4 Intensive Plant Agriculture Section 3.4.1 Control 1	The setback table imposes a setback from <i>Any other dwelling (whether on a neighbouring property).</i>	Amend text to state:  <i>Any other existing dwelling on a neighbouring property.</i>	To make it clear that the setback requirement applies to dwellings on the adjoining lots. There is a separate setback requirement which applies to dwellings on the same lot.
Part 3.4 Intensive Plant Agriculture	This control states the following:  <i>'Development for the purposes of intensive</i>	Delete control	The control is unreasonable. It means that a suitable area of the site could be left undeveloped for farming which the farmer may wish



Section 3.4.1 Control 2	<i>plant agriculture must accommodate future expansion of the farm while maintaining recommended buffer distances'</i>		to utilise as part of their proposal.
Part 3.4 Intensive Plant Agriculture Section 3.4.1 Control 3	The control currently states:  <i>Must not be located in visually prominent areas such as ridgelines and highly exposed areas.</i>	Amend control to ensure that it only refers to buildings.	It may be appropriate for some low lying market gardens to occur in visually prominent areas.
Part 3.4 Intensive Plant Agriculture Section 3.4.1 Control 4	This control requires Cooperative packing and labour pooling.	Delete control.	It is unclear what is intended by this control.
Part 3.4 Intensive Plant Agriculture Section 3.4.2 Heading	Heading currently states:  <i>Design and Construction of Controlled Environment Structures</i>	Amend the heading to state the following:  <i>Design and Construction of Controlled Environment Structures (e.g. igloos or greenhouses)</i>	The DCP currently does not contain a definition of controlled environment structure and may be misinterpreted.
Part 3.4 Intensive Plant Agriculture Section 3.4.2 Objective (c)	This objective currently states:  <i>To encourage development within close proximity to major markets, adequate labour supply, major transport links and extension services</i>	Delete	The objective is considered too onerous and does not relate to any of the controls in this section of the DCP.
Part 3.4 Intensive Plant Agriculture Section 3.4.2 Control 2	This control currently states:  <i>The orientation of controlled environment structures must be in a north-south orientation and must consider the direction of prevailing winds to take advantage of cooling summer breezes.</i>	Delete	It is unreasonable to require igloos to be in a north-south direction and may not necessarily suit the constraints of the lot on which they are proposed.
Part 3.4 Intensive Plant	This control currently states:	Delete	It is unreasonable to require igloos to be a minimum height of 6 metres. Also, on

<p>Agriculture Section 3.4.2 Control 3</p>	<p><i>Where possible, controlled environment structures are to be a minimum of 6 metres in height to encourage adequate ventilation, provide optimal growing environment and increase the overall efficiency.</i></p>		<p>some sites, a height in excess of 6 metres may create a visual impact, particularly if the igloos fall into disrepair. There is currently no maximum height limit for igloos.</p>
<p>Part 3.4 Intensive Plant Agriculture Section 3.4.2 Control 5</p>	<p>This control currently states  <i>Controlled environment horticulture structures are to be raised to facilitate the drainage of stormwater away from structures.</i></p>	<p>It is proposed to amend the control to change the word state to constructed</p>	<p>Plan English and easier to apply.</p>
<p>Part 3.4 Intensive Plant Agriculture Section 3.4.4 Control 1</p>	<p>This control currently states:  <i>Intensive plant or horticultural operations are to incorporate grassed inter-row areas or cover crops between production areas crop rows in order to:</i></p>	<p>Amend the wording of the control to state the following:  <i>Intensive plant or horticultural operations are to provide a grassed surface between production areas in order to:</i></p>	<p>Clearer wording of the control.</p>
<p>Part 3.4 Intensive Plant Agriculture Section 3.4.4 Control 3</p>	<p>This control states the following:  <i>Cultivation between crop rows must be minimised and only undertaken for moisture retention and ground preparation.</i></p>	<p>Delete.</p>	<p>The control is unclear and can be removed.</p>
<p>Part 3.4 Intensive Plant Agriculture Section 3.4.4 Control 10</p>	<p>This control states the following:  <i>Development must incorporate the construction of stormwater diversion banks, sedimentation ponds and the installation of a wastewater treatment system to divert and</i></p>	<p>It is proposed to amend the control as follows:  <i>Where open field horticulture or intensive plant agriculture is proposed the Development must include stormwater diversion banks and sedimentation ponds to divert and capture water runoff.</i></p>	<p>The amendments make it clear that the control only applies to open field horticulture and surface water runoff.</p>

		<i>treat wastewater and run-off.</i>		
Part 3.4 Intensive Plant Agriculture Section 3.4.4 Control 11	3.4	This control states the following:  <i>Runoff from site buildings (sealed or compacted) is to be collected in sedimentation ponds prior to any irrigation on-site. Contaminated waters must be suitably treated before reuse on the farm.</i>	It is proposed to amend the control as follows:  Runoff from site buildings is to be collected in sedimentation ponds (unless captured by a connected rainwater tank). Contaminated waters must be suitably treated before reuse on the farm.	It may not be necessary for a sedimentation pond to be provided on a site where only small buildings are proposed. Rainwater tanks may be utilised to capture Roofwater runoff and provide re-use opportunities.
Part 3.4 Intensive Plant Agriculture Section 3.4.6 Control 1	3.4	This control states the following:  <i>Site boundaries – Vegetative screen – rows of vegetation to be established and maintained.</i>	<i>Amend wording to say that a minimum of one row of vegetation can be provided.</i>	The current control is unclear as to how many rows can be provided to establish a screen.
Part 3.4 Intensive Plant Agriculture Section 3.4.6 Control 2	3.4	This control states the following:  <i>All plantings are to be in groups, consist of advanced stock and are to be a minimum of 12m from structures to allow adequate air movements. In bushfire prone areas, fire retardant species must be utilised and separation from buildings must be consistent with the requirements of Planning for Bushfire Protection.</i>	Amend to state the following:  <i>All plantings are to be in groups and consist of advanced stock.</i>  Include the following as a separate control:  <i>In bushfire prone areas, fire retardant species must be utilised and separation from buildings must be consistent with the requirements of Planning for Bushfire Protection.</i>	



### Attachment 3

#### Development Applications to be Notified (Parts Highlighted in red are additions as part of the DCP Amendments)

The purpose of this part is to ensure that members of the public potentially affected by a proposed development are informed and have an opportunity to input into the assessment process before a final decision is made on a development application. It outlines Council's notification and advertising procedure for development applications.

#### 4.1 Development Applications to be notified

Notification of development applications will be required except where Council consider that the potential for adjoining and nearby land to be adversely affected by the development is minimal.

Notification is not required for the development types listed in Table 1 below so long as the criteria in the right hand column is met.

Development types where notification is not required:

Type of Development	Criteria which excludes the development from requiring notification
Single Storey Dwelling House (including alterations and additions)	<ul style="list-style-type: none"> <li>• No other Dwelling House located on the same allotment</li> <li>• Finished floor levels no greater than 1m above or below the natural ground level</li> <li>• Complies with Council's building line setbacks prescribed in this plan</li> <li>• For single storey dwellings - No walls less than a metre from the boundary</li> <li>• For two storey dwellings – be setback at least 10.0m from side boundaries.</li> <li>• Total floor area of less than 430m<sup>2</sup></li> <li>• No more than 2 garage doors visible from the street</li> <li>• Have no other dwelling house located on the same allotment</li> <li>• Not located on a lot containing a Heritage Item or within a Heritage Conservation Area.</li> </ul>
Carports (residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land;</li> <li>• Complies with Council's building line setbacks in this plan</li> <li>• Setback from side boundaries is no less than 1.0m</li> <li>• No taller than 4m above ground level (existing)</li> <li>• Not located on a lot containing a Heritage Item or within a Heritage Conservation Area.</li> </ul>
Awnings and Pergolas (residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• Complies with Council's building line setbacks in this plan</li> <li>• Setbacks from side boundaries are no less than 1m</li> <li>• No taller than 4m above existing ground level</li> </ul>

	<ul style="list-style-type: none"> <li>• Not located on a lot containing a Heritage Item or within a Heritage Conservation Area.</li> </ul>
Gazebos (residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• Complies with Council's building line setbacks in this plan</li> <li>• Setback from side boundaries no less than 1m</li> <li>• No taller than 4m above existing ground level</li> <li>• Not located on a lot containing a Heritage Item or within a Heritage Conservation Area.</li> </ul>
Retaining Walls (residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• No more than 0.6m high</li> <li>• Setback from side and rear boundaries is no less than 2.5m</li> <li>• Located behind or beside the dwelling.</li> </ul>
Swimming Pools (Residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• Setback from side and rear boundaries no less than 1m</li> <li>• Located in the rear yard or on a corner lot, behind the front and secondary street setbacks of the dwelling</li> <li>• No coping or decking more than 0.5m above ground level (existing).</li> </ul>
Decks and Balconies (Residential)	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• No more than 0.5m above ground level (existing)</li> <li>• Setback at least 10.0m from any boundary</li> </ul>
Residential Outbuildings	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• Complies with the building line setbacks in this plan</li> <li>• Located in a residential zone (other than R5 Large Lot Residential)</li> <li>• Setback from any boundary is no less than 900mm</li> <li>• No higher than 3.5 metres above the natural ground level</li> <li>• Can accommodate a maximum of two car parking spaces</li> <li>• Floor area less than 50m<sup>2</sup></li> </ul>
Rural Outbuildings	<ul style="list-style-type: none"> <li>• Relates to a residential use of the land</li> <li>• Located on land zoned R5, RU1, RU2, RU4 or E4</li> <li>• Complies with the building line setbacks contained within this plan</li> <li>• Setback from any boundary is no less than 10.0m</li> <li>• No higher than 5.0m above natural ground level</li> <li>• Floor area less than 100m<sup>2</sup></li> </ul>
Telecommunications Facilities	<ul style="list-style-type: none"> <li>• Low impact facilities as defined by the legislation of the Commonwealth</li> </ul>
Tree Removal (residential)	<ul style="list-style-type: none"> <li>• Removal of 10 trees or less</li> <li>• Located in Residential zoned land</li> </ul>
Tree Removal (Rural)	<ul style="list-style-type: none"> <li>• Removal of less than 10m<sup>2</sup> of vegetation</li> <li>• Located on rural zoned land</li> </ul>
Tree Removal (Agricultural)	<ul style="list-style-type: none"> <li>• Located on RU1 or RU2 zoned land</li> <li>• Removal required for the purposes of agriculture</li> </ul>

Demolition	<ul style="list-style-type: none"> <li>• Demolition of a building or structure that would have been subject to another exemption in this clause if it were being proposed as a new building.</li> </ul>
Septic Tanks	<ul style="list-style-type: none"> <li>• No notification required.</li> </ul>
Rainwater Tanks	<ul style="list-style-type: none"> <li>• No notification required.</li> </ul>
Strata Subdivision of Existing Buildings	<ul style="list-style-type: none"> <li>• Existing building is lawful and complies with the Building Code of Australia.</li> </ul>
Subdivision of existing dual occupancy	<ul style="list-style-type: none"> <li>• On land zoned R2, R3 or B4</li> <li>• Existing building(s) is/are lawful</li> </ul>
Health Services Facility	<ul style="list-style-type: none"> <li>• On land zoned B1, B2 or B5 and</li> <li>• Wholly located within an existing commercial building</li> </ul>
Kiosk	<ul style="list-style-type: none"> <li>• On land zoned B1, B2 or RE2</li> </ul>
Internal works to an existing building	<ul style="list-style-type: none"> <li>• Does not affect the height, footprint or external appearance of the building</li> </ul>
Home Occupations	<ul style="list-style-type: none"> <li>• Where in the responsible Council Officer's opinion the proposed new use is unlikely to result in land use conflict due to noise, hours of operation or traffic generation</li> </ul>
Minor Commercial external building Alterations/Additions	<ul style="list-style-type: none"> <li>• Works are not proposed to a Heritage Item or to a building within a Heritage Conservation Area.</li> <li>• Does not increase the height of the building.</li> <li>• Does not create additional shops/units.</li> </ul>
Change of use of an existing building from one type of commercial use	<ul style="list-style-type: none"> <li>• Proposed use is permissible in the zone</li> <li>• Adequate car parking is provided</li> <li>• Where in the responsible Council Officer's opinion the proposed new use is unlikely to result in land use conflict due to noise, hours of operation or traffic generation</li> <li>• In a business zone</li> <li>• Contained within an existing building</li> </ul>
Change of use from one type of light industry to another type of light industry	<ul style="list-style-type: none"> <li>• Proposed use is permissible in the zone</li> <li>• Adequate car parking is provided</li> <li>• Where in the responsible Council Officer's opinion the proposed new use is unlikely to result in land use conflict due to noise, hours of operation or traffic generation</li> <li>• In an industrial zone</li> <li>• Contained within an existing building</li> <li>• The land does not adjoin any residential, rural, environmental or open space zone;</li> </ul>
Secondary Dwellings	<ul style="list-style-type: none"> <li>• The lot is within a rural or environmental zone and is greater than 2 hectares</li> <li>• Will not result in any more dwellings than the principal dwelling and the secondary dwelling on the site.</li> <li>• Is consistent with the setback requirements for Secondary Dwellings in rural zones contained in Volume 4 of this Plan.</li> </ul>
Minor Environmental Protection Works	<ul style="list-style-type: none"> <li>• No notification required.</li> </ul>
Signage	<ul style="list-style-type: none"> <li>• Within a business or industrial zone</li> </ul>



	<ul style="list-style-type: none"> <li>• Does not require advertising under SEPP 64</li> <li>• Is not illuminated</li> <li>• Is not attached to a heritage item, on a lot containing a heritage item or within a heritage conservation area</li> <li>• Is not in association with a restricted premises</li> </ul>
Works that are required in response to an emergency situation (such as a natural disaster event, e.g. a flood).	<ul style="list-style-type: none"> <li>• No notification requirements.</li> </ul>

## Attachment 4

### When an Application to Modify a Consent Should be Modified

Any person may lodge an application to modify a development consent under Section 96 of the *Environmental Planning and Assessment Act, 1979* provided that the changes would result in substantially the same development as that originally approved.

The minimum notification requirements for applications to modify a consent are as follows:

Type of modification application (i.e. under what section of the Act)	Type of Modification	Who is to be notified			
		No Notification Required	Adjoining Owners/residents	Previous Submitters	Other
S96(1)	Correction of minor errors, misdescriptions and miscalculations	✓			
S96(1A)	Changes that would have minimal environmental impact			✓	★
S96(2)	Other changes		★	✓	★
S96 (AA)	Modifications to development consents issued by the Land and Environment Court		★	✓	★

- ★ Council may determine to carry out additional notification or advertising of any application depending on the nature of the changes and whether Council sees it in the Public Interest to do so.

Council may also determine not to notify previous submitters if the amendments are minor and the changes do not relate to any of the issues raised in their original submission.

## Attachment 5

### Proposed Amended controls for Secondary Dwellings.

#### 3.14 Secondary Dwellings in all Residential Zones (other than R5 Large Lot Residential Lot Residential Zones)

Control		Objectives (refer to clause 1.2)										
<b>Building Design</b>												
1	<p>The total portion of the site covered by buildings shall not exceed the following:</p> <table border="1"> <thead> <tr> <th>Lot size</th> <th>Site coverage</th> </tr> </thead> <tbody> <tr> <td>&lt;700</td> <td>60%</td> </tr> <tr> <td>700-1500</td> <td>50%</td> </tr> <tr> <td>1500-4000</td> <td>40%</td> </tr> <tr> <td>4000&gt;</td> <td>N/A</td> </tr> </tbody> </table>	Lot size	Site coverage	<700	60%	700-1500	50%	1500-4000	40%	4000>	N/A	1.2, 1.3, 3.1, 6.1 and 6.2
Lot size	Site coverage											
<700	60%											
700-1500	50%											
1500-4000	40%											
4000>	N/A											
2	<p>A Detached Secondary Dwelling shall have the clear visual character of either a shed or a small dwelling. A building that appears to be a hybrid of a shed and a dwelling is not permitted.</p> <p><b>However, any Secondary Dwelling that is located in front of the principal dwelling must have the clear visual character of a small dwelling and not a shed.</b></p>	1.2, 1.2, 1.3										
3	A Secondary Dwelling must not be in the form of a converted shipping container.	1.2, 1.3, 14.4 and 14.5										
4	<p>The Secondary Dwelling must include the following:</p> <ol style="list-style-type: none"> <li>1) A minimum of one habitable room; and</li> <li>2) Kitchen sink and facilities for the preparation and cooking of food; and</li> <li>3) A bath or shower;</li> <li>4) Clothes washing facilities, comprising at least one wash tub and space in the same room for a washing machine; and</li> <li>5) A closet pan (toilet) and wash basin.</li> </ol>	1.2, 1.3, 14.4 and 14.5										
5	External building materials and colours incorporated in the Secondary Dwelling must be compatible with the existing character of the locality.	1.2, 1.3										
6	Filling of land shall not increase the natural ground level by more than 1.0m	1.2, 1.3, 5.1 & 6.2										
7	Cut shall be limited to 1.0m below natural ground level for lots under 450m <sup>2</sup> and 2.0m below natural ground level for all other lot types.	1.2, 1.3, 4.1, 6.2 & 9.1										
8	<p>Where a Secondary Dwelling is visible from the street (i.e. it is not on a battle axe lot and is not obscured from view by the principal dwelling, fencing, or vegetation, it must achieve the following:</p> <ul style="list-style-type: none"> <li>• Any front façade must have no stretch of blank wall greater than 5.0 metres.</li> </ul>	1.2, 1.3, 4.2										



	<ul style="list-style-type: none"> <li>Any front façade must have no stretch of straight wall greater than 10.0 metres.</li> </ul>											
9	A side or rear façade must not have a stretch of blank wall greater than 10.0 metres.	1.2, 1.3										
10	A Secondary Dwelling on a Battle-Axe Lot shall be single storey.	5.1										
11	If the Secondary Dwelling is located forward of the main dwelling and has street frontage, any façade facing the street is to be provided with at least one habitable room with a window looking onto a public road.	1.2, 1.3, 4.2										
12	Where the Secondary Dwelling is located in front of the principal dwelling on the site and has street frontage, the Secondary Dwelling must be provided with an entry door on the street elevation.	1.2, 1.3										
13	The Secondary Dwelling shall be provided with an easily identifiable personal access door in an appropriate location.	1.2, 1.3										
<b>Setbacks</b>												
	<b>NOTE: To assist in the use of control 13 and 14 please refer to part 2.5 to establish the adjoining lots.</b>											
13	<p><u>Front setback where there is a dwelling on each adjoining lot:</u></p> <ul style="list-style-type: none"> <li>Where there is a dwelling on each adjoining lot, the setback for the Secondary Dwelling from any primary road shall be the average setback of the existing adjoining dwellings plus or minus 10%; or</li> <li>Equal to or behind the front building line of the main dwelling on the site.</li> </ul>	1.1, 1.2, 1.3										
14	<p><u>Front setback where there is a dwelling on one adjoining lot:</u></p> <ul style="list-style-type: none"> <li>Where there is a dwelling on one adjoining lot, the setback for the Secondary Dwelling from any primary road shall be the average setback of the existing adjoining dwelling plus or minus 10%; or</li> <li>Equal to or behind the front building line of the main dwelling on the site.</li> </ul>	1.1, 1.2, 1.3										
15	<p><u>Front setback where there are no dwellings on either of the adjoining allotments:</u></p> <p>Where there are no dwellings on either adjoining lot the Secondary Dwelling shall adhere to the following minimum <b>front setbacks</b>:</p> <table border="1" data-bbox="316 1794 1023 1973"> <thead> <tr> <th>Lot Size</th> <th>Minimum Setback</th> </tr> </thead> <tbody> <tr> <td>&lt;300m<sup>2</sup></td> <td>3m</td> </tr> <tr> <td>300-900m<sup>2</sup></td> <td>4.5m</td> </tr> <tr> <td>900-1500m<sup>2</sup></td> <td>6.5m</td> </tr> <tr> <td>1500&gt;m<sup>2</sup></td> <td>10.0m</td> </tr> </tbody> </table>	Lot Size	Minimum Setback	<300m <sup>2</sup>	3m	300-900m <sup>2</sup>	4.5m	900-1500m <sup>2</sup>	6.5m	1500>m <sup>2</sup>	10.0m	1.1, 1.2, 1.3, 14.1
Lot Size	Minimum Setback											
<300m <sup>2</sup>	3m											
300-900m <sup>2</sup>	4.5m											
900-1500m <sup>2</sup>	6.5m											
1500>m <sup>2</sup>	10.0m											
16	The minimum <b>side setback</b> shall be as follows:	1.1, 1.2, 1.3, 14.1										

	<table border="1"> <thead> <tr> <th>Lot Size</th> <th>Single Storey Dwelling</th> <th>Single Storey Dwelling</th> </tr> </thead> <tbody> <tr> <td>&lt;900m<sup>2</sup></td> <td>0.9m</td> <td>0.9m + one quarter of the height greater than 3.8 metres</td> </tr> <tr> <td>900-1500m<sup>2</sup></td> <td>1.5m</td> <td>1.5m + one quarter of the height greater than 3.8 metres</td> </tr> <tr> <td>1500m<sup>2</sup></td> <td>2.5m</td> <td>2.5m + one quarter of the height greater than 3.8 metres</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Lot Size	Single Storey Dwelling	Single Storey Dwelling	<900m <sup>2</sup>	0.9m	0.9m + one quarter of the height greater than 3.8 metres	900-1500m <sup>2</sup>	1.5m	1.5m + one quarter of the height greater than 3.8 metres	1500m <sup>2</sup>	2.5m	2.5m + one quarter of the height greater than 3.8 metres				
Lot Size	Single Storey Dwelling	Single Storey Dwelling															
<900m <sup>2</sup>	0.9m	0.9m + one quarter of the height greater than 3.8 metres															
900-1500m <sup>2</sup>	1.5m	1.5m + one quarter of the height greater than 3.8 metres															
1500m <sup>2</sup>	2.5m	2.5m + one quarter of the height greater than 3.8 metres															
17	<p>The minimum <b>side setback requirement on corner lots</b> shall be as follows:</p> <table border="1"> <thead> <tr> <th>Lot size</th> <th>Minimum setback</th> </tr> </thead> <tbody> <tr> <td>&lt;600m<sup>2</sup></td> <td>2m</td> </tr> <tr> <td>600-1500m<sup>2</sup></td> <td>3m</td> </tr> <tr> <td>&gt;1500m<sup>2</sup></td> <td>5 m</td> </tr> </tbody> </table> <p>For the purposes of this control, if a lot has contiguous boundaries with a road or road but is not a corner lot, the lot is taken to have a boundary only with a primary road.</p>	Lot size	Minimum setback	<600m <sup>2</sup>	2m	600-1500m <sup>2</sup>	3m	>1500m <sup>2</sup>	5 m	1.2, 1.3, 1.4							
Lot size	Minimum setback																
<600m <sup>2</sup>	2m																
600-1500m <sup>2</sup>	3m																
>1500m <sup>2</sup>	5 m																
18	<p>The minimum <b>rear setback</b> shall be as follows:</p> <table border="1"> <thead> <tr> <th>Lot Size</th> <th>Single Storey Dwelling</th> <th>Two Storey Dwelling</th> </tr> </thead> <tbody> <tr> <td>&lt;600m<sup>2</sup></td> <td>3m</td> <td>8m</td> </tr> <tr> <td>600-1500m<sup>2</sup></td> <td>5m</td> <td>12m</td> </tr> <tr> <td>&gt;1500m<sup>2</sup></td> <td>10m</td> <td>15m</td> </tr> </tbody> </table>	Lot Size	Single Storey Dwelling	Two Storey Dwelling	<600m <sup>2</sup>	3m	8m	600-1500m <sup>2</sup>	5m	12m	>1500m <sup>2</sup>	10m	15m	1.2, 1.4, 14.1			
Lot Size	Single Storey Dwelling	Two Storey Dwelling															
<600m <sup>2</sup>	3m	8m															
600-1500m <sup>2</sup>	5m	12m															
>1500m <sup>2</sup>	10m	15m															
<b>Private Open Space</b>																	
20	<p>The Secondary Dwelling must achieve a principal area of private open space at ground level with the following:</p> <ul style="list-style-type: none"> <li>• Gradient no steeper than 1:20 (Rise:Run)</li> <li>• Width no less than 3 metres in any direction</li> <li>• Must be directly accessible from and adjacent to a habitable room, other than a bedroom (i.e. a living area)</li> <li>• Have an area no less than 24 metres.</li> </ul>	3.1, 6.1															
<b>Privacy</b>																	
21	A Secondary Dwelling located on the first floor must not result in unreasonable overlooking into the private open space or windows of habitable rooms of adjoining dwellings.	5.1, 5.2															
22	A window that has a sill height of 1.7m or more above the floor level within the room is taken to have no potential for overlooking.	5.1, 5.2															
<b>Waste Management</b>																	

23	The Secondary Dwelling shall be provided with a bin storage area in a location clear of the private open space area.	1.2, 1.3, 3.8, 8.1
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### 3.15 Secondary Dwellings in R5 Large Lot Residential Zones, Environmental and rural zones

Control		Objectives (refer to clause 1.2)
<b>Building Design</b>		
1	A Detached Secondary Dwelling shall have the clear visual character of either a shed or a small dwelling. A building that appears to be a hybrid of a shed and a dwelling is not permitted.	1.1, 1.2, 1.3
2	A Secondary Dwelling must not be in the form of a converted shipping container.	1.2, 1.3, 14.4, 14.5
3	The Secondary Dwelling must include the following: <ul style="list-style-type: none"> <li>1) A minimum of one habitable room; and</li> <li>2) Kitchen sink and facilities for the preparation and cooking of food; and</li> <li>3) A bath or shower;</li> <li>4) Clothes washing facilities, comprising at least one wash tub and space in the same room for a washing machine; and</li> </ul> A closet pan (toilet) and wash basin.	1.2, 1.3, 14.4, 14.5
4	External building materials and colours incorporated in the Secondary Dwelling must be compatible with the existing character of the locality.	1.2, 1.3
5	Filling of land must not increase the natural ground level by more than 1.0m.	1.2, 1.3, 5.1, 6.2
6	Cut must be limited to 2.0 metres below natural ground level.	1.2, 1.3, 4.1, 6.2, 9.1
7	Any front façade must have no stretch of blank wall greater than 5.0 metres in length.	1.2, 1.3, 1.4
8	Any front façade must have no stretch of straight wall greater than 10.0 metres in length (other than those on rural lots)	1.2, 1.3
9	A side or rear façade must have no stretch of blank wall greater than 12 metres (other than those on rural lots)	1.2, 1.3
10	A Secondary Dwelling on a battle-axe lot shall be single storey (other than those on rural lots).	5.1
11	If the Secondary Dwelling is located forward of the main dwelling and has street frontage, any façade facing the street is to be provided with at least one habitable room with a window looking onto a public road.	1.2, 1.3, 4.2
12	Where the Secondary Dwelling is located in front of the principal dwelling on the site and has street frontage, the Secondary Dwelling must be provided with an entry door on the street elevation.	1.2, 1.3



13	The Secondary Dwelling shall be provided with an easily identifiable personal access door in an appropriate location.	1.2, 1.3
<b>Setbacks</b>		
14	The Secondary Dwelling must comply with the setback controls for single dwellings relevant to the size of the lot.	1.2, 1.3, 1.4

## Attachment 6

### DCP Variations Statistics (May 2016 to May 2017)

#### Volume 1 - General

Type of development	Type of variation - summary	Clause	Number	Comment
Subdivision	Mapping of Riparian buffer	9.3.4	10	This related to one subdivision area. However it would affect a number of subdivisions. An additional control which allows the applicant to provide evidence eg Office of Water or a hydrologic report detailing that the waterway is insufficiently defined to allow determination of riparian distances.
<b>Total</b>			<b>10</b>	

#### Volume 3 - Subdivision

Type of development	Type of variation - summary	Clause	Number	Comment
Subdivision	Access handles min width	2.1.2	4	Further investigation with engineering to determine if change to control is required.
	Road infrastructure	2.1.5	1	No change
	No 2 access handles	2.5.2	2	No change
	Landscaping on access handles	2.5.3	2	No change
Thirlmere East	Staged pathway	3.2.4	4	The control may need to be varied to allow individual subdivisions to construct pathways with consideration for inclusion in Wollondilly Contributions plan for any missing link part of the pathway
<b>Total</b>			<b>13</b>	

## Volume 4 – Residential development

Type of Development	Type of Variation - summary	Clause	No.	Comment	
Driveways	Sealing of Driveway	2.7	1	No change	
	Road access or access handle	2.7.4	2	No change	
<b>Total</b>			<b>3</b>	<b>1.9 % Residential variations</b>	
<b>Single dwellings</b>					
Single dwelling (small lot)	Cnr address St	3.2.8	1	Setbacks are the main issue for the various single dwellings and lot sizes. Variation is dependent on specific criteria for each development which needs to be assessed on merit. No change required	
	Fencing	3.2.10	1		
	Front setback	3.2.18	1		
	Second setback	3.2.23	1		
Single dwelling (standard lot)	Front setback	3.3.19	1		
	2 parking spaces	3.3.31	2		
Single dwelling (large lot)	Front setback	3.4.18	2		
	Rear setback	3.4.21	1		
Single dwelling (rural lots)	Filling of land	3.6.1	2		No change required.
	Cut	3.6.2	1		
	Height of buildings	3.6.8	1		
	Front setback	3.6.9	2		
<b>Total</b>			<b>16</b>	<b>10.13% Residential variations</b>	
<b>Ancillary Buildings</b>					
Ancillary buildings (upto standard lots)	Cut	3.7.3	1		
	Facade (blank wall)	3.7.6	1		
	Height of building	3.7.7	1		
	Setbacks	3.7.10	3		
Ancillary buildings ( large lots)	Height of buildings	3.8.7	1		
	Floor area	3.8.9	2		
	Setbacks	3.8.10	3		
Ancillary buildings (rural)	Filling	3.9.1	1		
	Facade (blank wall)	3.9.3	1		
	Height of buildings	3.9.4	6		
	Floor area	3.9.6	7		
	Front setback	3.9.7	17	May need review	
	Other setbacks	3.9.9	5		
<b>Total</b>			<b>49</b>	<b>31.01% Residential variations</b>	
<b>Battle-axe Single Storey Dwelling</b>					
	Side Setback	3.10.9	2		
<b>Total</b>			<b>2</b>		
Carports					



	Front setback	3.12.5	6	
<b>Total</b>			<b>6</b>	
<b>Secondary dwelling</b>				
	Cut	3.14.7	1	
	Front fac. Blank wall	3.14.8	4	
	Other setbacks	3.14.12	10	
	Other setbacks	3.14.13	2	
Secondary Dwellings	Front setback	3.14.14	1	
	Other setbacks	3.14.15	6	
	Front door	3.14.16	17	Proposed change
	Use same driveway	3.14.17	5	
	Fr. Fac. Straight wall	3.14.9	3	
<b>Total</b>			<b>49</b>	<b>31.01% Residential variations</b>
<b>Dual occupancy</b>				
Dual occupancy (residential)	Sewer connection	3.15.1	1	
	Lot Area	3.15.2	3	
	Lot width	3.15.3	2	
		3.15.6	1	
	50% Garage doors	3.15.17	1	
	No. of gar doors	3.15.18	5	
	Lot area	3.15.20	2	
	Front setback	3.15.23	3	
	Front setback	3.15.24	1	
	Rear setback	3.15.26	2	
Solar access	3.15.39	1		
Rural dual occupancy	Integrated rooflines	3.16.13	1	
	Land fill	3.16.2	1	
	3 garage doors	3.16.7	1	
	Integrated rooflines	3.16.13	1	
	Appear as 1 dwelling	3.16.14	1	
<b>Total</b>			<b>27</b>	<b>17.09% Residential variations</b>
<b>Medium Density</b>				
	Traditional orientation	3.17.7	1	
	No mirror image etc	3.17.16	2	
	Front setback	3.17.18	1	
	Open space	3.17.29	1	
			5	
<b>Shop top housing</b>				
Shop top housing	Balcony/verandah open space	3.20.7	1	
<b>Total</b>			<b>1</b>	
<b>Total all residential</b>			<b>159</b>	

## Volume 5 – Commercial and Community Uses

Type of development	Type of variation - summary	Clause	Number	Comment
Commercial	Photovoltaic cell	2.1.7	1	No change
	Glazing on frontage	2.3.7	6	Further investigation to determine whether change is required.
	Facades & CPTED	2.3.8	3	No change
	Driveway crossing width	2.8.2	1	No change
	Kerb & gutter for on-street parking	2.8.3	3	No change – would depend on location.
	Separate service delivery	2.9.1	1	No change – would depend on location and size of development
	1 load/unload space	2.9.2	1	No change
	Bicycle racks	2.9.8	1	Requires review to ensure consistency
	Car parking	2.10.10	5	No change as various types of development
<b>Total</b>			<b>23</b>	

## Volume 8 – Primary Agricultural and Rural Uses

Type of Development	Type of variation - summary	Clause	Number	Comment
Boarding Kennel	Separation distances	3.1.1	1	No change
Intensive plant agric	All weather road	3.4.5.1	1	No change
	Landscaping	3.4.6.1	1	No change
Farm buildings	Max size of farm building	3.5.2.3	2	No change
<b>Total</b>			<b>5</b>	

## Table detailing variations for each volume

Volume	No of variations	Percentage %
1 - General	10	4.81
3 - Subdivisions	13	6.25
4 - Residential	158	75.97
5 - Commercial	22	10.58
6 – Primary agricultural	5	2.40
<b>Total</b>	<b>208</b>	<b>100.01</b>