

# Development Control Plan 2015



**Wollondilly**  
Shire Council

# Development Control Plan 2015

Volume 1 – General



**Wollondilly**  
Shire Council

**Revision History**

<b>Volume</b>	<b>Current Version</b>
Volume 1	1
Volume 2	1
Volume 3	1
Volume 4	1
Volume 5	1
Volume 6	1
Volume 7	1
Volume 8	1

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## PART 1 – PRELIMINARY

### 1.1 Introduction

The name of this plan is “Wollondilly Development Control Plan 2015”. This plan is made in 7 volumes. It applies to all land to which Wollondilly Local Environmental Plan 2011 applies.

### 1.2 Objective

1. To assist in the realisation of the aims of Wollondilly Local Environmental Plan, 2011.
2. The specific controls and volumes of this plan each have objectives as detailed throughout this plan.

### 1.3 Interpretation

In this plan, unless the context clearly indicates otherwise, words have meaning as defined in this section, Wollondilly Local Environmental Plan, 2011, and State Environmental Planning Policy (Exempt and Complying Development Codes), 2008. Where there is an inconsistency between the definitions, the definitions in this section of the plan shall prevail to the extent of the inconsistency but only for the purposes of interpreting this plan.

Term	Meaning
<b>Access Handle</b>	A corridor of land used to provide access for vehicles from the public road network to or through an allotment that would otherwise be inaccessible for vehicles.
<b>Adaptable Dwelling</b>	A dwelling that is designed to facilitate its future conversion to comply with disabilities access standards without structural modification to the building.
<b>Ancillary Buildings</b>	A building (that is not a dwelling) on a residential or rural allotment that is used by the residents of the allotment as a part of their domestic occupation of the land.
<b>Any Subdivision</b>	The subdivision of land by Torrens and/or Community Title and/or subdivision by Strata. This definition extends beyond the term “Subdivision of Land” as defined in the Environmental Planning and Assessment Act, 1979.
<b>Blank Wall</b>	A stretch of wall that is a straight wall and does not have any windows or doors.
<b>Declared flood affected land</b>	Land that is identified in Clause 8.3 of this volume.
<b>Dormer window</b>	A window set into the structural element of a building that protrudes from the plane of a sloping roof surface. Dormers are used, either in original construction or as later additions, to create usable space in the roof of a building by adding headroom and usually also by enabling addition of windows.
<b>Dormitory Room</b>	A room that provides sleeping accommodation for 3 or more adults.
<b>EEC</b>	An Endangered Ecological Community declared by the NSW Government.

Term	Meaning
<b>Environmental Asset</b>	<p>A contiguous are of land greater than 5000m<sup>2</sup> this is substantially composed of one or more of the following:</p> <ul style="list-style-type: none"> <li>▪ An EEC;</li> <li>▪ Threatened flora;</li> <li>▪ Habitat occupied by threatened fauna or nearby land likely to be required by that fauna for foraging, nesting, mating or other similar needs;</li> <li>▪ Wildlife Corridors; and</li> <li>▪ A natural wetland, groundwater dependant ecosystem or similar.</li> </ul> <p>This definition includes (without limitation):  an area of land that would, but for the carrying out of unauthorised works, meet one or more of the above criteria; and  an area of land that is partially located on land not included within a planning proposal.</p>
<b>Environmental Landscape</b>	<p>A precinct or area that contains dispersed environmental land or that otherwise forms part of a landscape that has a strongly defined character that the Council considers desirable for retention and enhancement.</p>
<b>Event</b>	<p>A use of land for recreational purposes for a period of no more than 5 consecutive days (or up to 10 days inclusive of related setup and pack up activities) and no more than a total of 52 days in a year.</p>
<b>Fanlight casement window</b>	<p>A pane of glass installed over a door or window.</p>
<b>Flood Planning Level</b>	<p>In the case of development for the purposes listed below, the PMF + 0.5m</p> <ul style="list-style-type: none"> <li>▪ Child Care Centres</li> <li>▪ Community facilities</li> <li>▪ Educational Establishments</li> <li>▪ Electricity Generating Works</li> <li>▪ Emergency Services Facilities</li> <li>▪ Health Services Facilities</li> <li>▪ Information and Education Facilities</li> <li>▪ Liquid Fuel Depots</li> <li>▪ Offensive or Hazardous Industries</li> <li>▪ Offensive or Hazardous Storage Establishments</li> <li>▪ Public Utility Undertakings</li> <li>▪ Research Stations</li> <li>▪ Seniors Living</li> <li>▪ Telecommunications Facilities</li> </ul> <p>In all other cases the 1% AEP flood level +0.5m.</p>
<b>Flood Vulnerable Building</b>	<p>A building that is located on land that is lower than the relevant flood planning level for the intended use of the building.</p>
<b>Formal Landscaping</b>	<p>A garden bed that has fixed edging, a mulched or rock covered surface and planting with ground covers and/or shrubs and/or trees.</p>
<b>French doors</b>	<p>A twin set of doors which are hinged on one of it's vertical edges so as to open inwards or outwards.</p>
<b>Front Façade</b>	<p>A façade that addresses a public road or a private road in a community title scheme.</p>
<b>Hour of solar access</b>	<p>Exposure for a period of 1 hour to direct sunlight between the hours of 9:00am and 3:00pm on 21 June.</p>

<b>Term</b>	<b>Meaning</b>
<b>Large Subdivision</b>	<i>Any subdivision</i> that creates more than 100 allotments.
<b>Medium Density Development</b>	Means any development that results in 3 or more dwellings on an allotment of land.
<b>Medium Subdivision</b>	<i>Any subdivision</i> that creates more than 10 allotments but no more than 100 allotments.
<b>Minor Subdivision</b>	<p><i>Any subdivision</i> that:</p> <ul style="list-style-type: none"> <li>• Does not create any additional dwelling opportunities (excluding an additional opportunity for a secondary dwelling); and</li> <li>• Does not, by its scale and nature, have any plausible adverse social, environmental or economic impacts; and</li> <li>• Does not involve any allotment on which an item of environmental heritage is situated; and</li> <li>• Does not involve any allotment located within a heritage conservation area; and</li> <li>• Does not result in more than 4 new allotments.</li> </ul> <p>This definition is not intended to be applied to the interpretation of exempt or complying development provisions.</p>
<b>Mirror Reversed</b>	A building that substantially appears to have a vertical axis of symmetry in or about the centre of a Front Façade.
<b>Natural Ground Level</b>	The ground level of a location that would have existed when the subject allotment was registered.
<b>Panelled door</b>	A door with sunk panels set between its frame.
<b>Repeated Façade</b>	A section of a Front Façade that is repeated or is substantially similar to another section of that Front Façade but not in cases where the section does not contain a door (be it a personal access door or a garage door).
<b>Residential Battle-Axe Allotment</b>	A residential small lot, Standard Residential Lot or residential large lot which only has vehicular access by an access handle.
<b>Residential Large Lot</b>	An allotment of land with an area of between 1500m <sup>2</sup> and 4000m <sup>2</sup> (inclusive) on which a dwelling may be lawfully constructed.
<b>Residential Small Lot</b>	An allotment of land with an area of between 450m <sup>2</sup> and 700m <sup>2</sup> (inclusive) on which a dwelling may be lawfully constructed.
<b>Rural Lifestyle Lot</b>	An allotment of land with an area between 4000m <sup>2</sup> and 2 hectares on which a dwelling may be lawfully constructed.
<b>Rural Lot</b>	An allotment of land with an area greater than or equal to 2 hectares on which a dwelling may be lawfully constructed.
<b>Significant Flood Impact</b>	Any impact on a flood plain resulting from a change within that area changing the behaviour of water in flood conditions.
<b>Small Subdivision</b>	<i>Any subdivision</i> that creates no more than 10 allotments except for a <i>Minor Subdivision</i> .



<b>Term</b>	<b>Meaning</b>
<b>Standard Residential Lot</b>	An allotment of land with an area of between 700m <sup>2</sup> and 1500m <sup>2</sup> on which a dwelling may be lawfully constructed.
<b>Straight Wall</b>	A stretch of wall that continues in a linear fashion without any change to its direction or any articulation.
<b>Suspected flood affected land</b>	Land that is located on the part of a flood plain and that could reasonably be expected to be inundated in a probable maximum flood.
<b>Temporary Markets</b>	A use of land for retail purposes for a period of no more than 2 consecutive days (or up to 4 days inclusive of related setup and pack up activities) and no more than 12 times per year.
<b>Town Centre Residential Lot</b>	An allotment of land with an area less than 450m <sup>2</sup> on which a dwelling may be lawfully constructed.
<b>Wet bars</b>	Any room that contains a sink and is not a kitchen, bathroom or laundry.

#### **1.4 Application of the volumes of this plan**

This volume applies to all development requiring development consent on, in or over land to which this plan applies.

The volumes of this plan each identify the contexts in which they apply. Developments may be subject to more than one volume of this plan. If there is an inconsistency between the volumes of this plan then the earlier volume shall prevail over the later volume. For example, if there is an inconsistency between Volumes 2 and 5, Volume 2 would prevail because it is found earlier in this plan.

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## **PART 2 – General considerations for all development**

### **2.1 Objectives**

1. To ensure that developments are undertaken with due regard to human safety.
2. To ensure that developments do not unreasonably impact on their surrounds.
3. To ensure that developments achieve a satisfactory level of social equity.

### **2.2 Controls**

1. The consent authority shall consider the following risks to safety for residents in assessing a development application under this volume:
  - a) Road and traffic hazards;
  - b) Bushfire;
  - c) Flood;
  - d) Noise, vibration, pollution, odour, radiation or waste from surrounding land uses;
  - e) Exposure to electricity transmission systems;
  - f) Exposure to radiation from telecommunications infrastructure;
  - g) Potential exposure to children of material (including signage) from any nearby restricted premises and/or sex services premises;
  - h) Hazards from vehicles within car parking areas; and
  - i) Hazard from potential contamination of the land.
2. The consent authority shall consider the suitability of the road network in the vicinity in assessing a development application under this volume.
3. The consent authority must not grant consent to a development application for development within a proclaimed mine subsidence area without the concurrence of the Mine Subsidence Board.
4. The consent authority must not grant consent to a development application for development subject to this volume on land unless it has considered the impact of the development on any system for the management of wastewater present on that land.
5. The consent authority must not consent to the carrying out of development within a drinking water catchment area unless it is satisfied that the proposal will have a neutral or beneficial impact on water quality.

### **PART 3 – Variations to this plan**

There may be situations where the strict application of the controls in this plan is inappropriate. In such cases the consent authority may vary the controls. In determining the appropriateness of a control and whether or not to support the variation the consent authority is to apply the same philosophy and approach as that adopted by the NSW Land and Environment Court in the determination of departures from development standards under State Environmental Planning Policy No 1 – Development Standards and Clause 4.6 of the Standard Instrument LEPs Order.

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## PART 4 – Community engagement

### 4.1 Development applications to be notified

All development applications are to be notified in accordance with Clause 4.6 of this volume unless the development is:

- Not located in a heritage conservation area; and
- Not located on an allotment that contains a heritage item; and
- Not located on an allotment that adjoins an allotment that contains a heritage item; and
- Not located on flood prone land; and
- Not a development that is required to be advertised under Clause 4.2 of this plan; and
- Compliant with all relevant controls in Wollondilly Local Environmental Plan, 2011; and
- Compliant with all relevant controls in this plan (both in this Volume and in the other relevant volumes); and
- Compliant with any covenants and restrictions registered on the allotment; and
- Consistent with all requirements of an exemption tabulated below.

Exemption	Requirements
Single storey dwelling houses (including alterations and additions)	<ul style="list-style-type: none"> <li>▪ Have no other dwelling house located on the same allotment</li> <li>▪ Have finished floor levels no greater than 1m above or below the natural ground level</li> <li>▪ Have a total area less than 430m<sup>2</sup></li> </ul>
Two storey dwelling houses (including alterations and additions)	<ul style="list-style-type: none"> <li>▪ Have no other dwelling house located on the same allotment</li> <li>▪ Have a total area less than 430m<sup>2</sup></li> <li>▪ Are setback at least 2.5m from side boundaries</li> </ul>
Carports (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be no less than 1m from the side boundaries</li> <li>▪ Be no taller than 4m above ground level (existing)</li> </ul>
Awnings and Pergolas (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be no less than 1m from the side boundaries</li> <li>▪ Be no taller than 4m above ground level (existing)</li> <li>▪ Be located beside or behind the dwelling</li> </ul>
Gazebos (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be no less than 1m from the side boundaries</li> <li>▪ Be no taller than 4m above ground level (existing)</li> </ul>
Retaining walls (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be no more than 0.6m high</li> <li>▪ Be no less than 2.5m from the side and rear boundaries</li> <li>▪ Be located beside or behind the dwelling</li> </ul>
Swimming pools (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Not have any coping or decking that is more than 0.5m above ground level (existing).</li> </ul>
Decks and Balconies (residential)	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be no more than 0.5m above ground level (existing)</li> </ul>

Exemption	Requirements
Residential Outbuildings	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be located within Zone R2 or B4</li> <li>▪ Have a floor area less than 50m<sup>2</sup></li> </ul>
Rural Outbuildings	<ul style="list-style-type: none"> <li>▪ Relate to a residential use of the land</li> <li>▪ Be located within zones R5, RU1, RU2, RU4 or E4</li> <li>▪ Have a floor area less than 100m<sup>2</sup></li> </ul>
Telecommunications Facilities	<ul style="list-style-type: none"> <li>▪ Be “low impact facilities” as defined by the legislation of the Commonwealth.</li> </ul>
Tree removal (residential)	<ul style="list-style-type: none"> <li>▪ All cases that result in the removal of less than 10 trees</li> <li>▪ Be located in any residential “R” zone</li> </ul>
Tree removal (rural)	<ul style="list-style-type: none"> <li>▪ All cases that result in the removal of less than 10m<sup>2</sup> of vegetation</li> <li>▪ Be located in any rural “RU” zone</li> </ul>
Tree removal (agricultural)	<ul style="list-style-type: none"> <li>▪ Be located in a RU1 or RU2</li> <li>▪ Be for the purposes of agriculture</li> </ul>
Demolition	<ul style="list-style-type: none"> <li>▪ Be for the demolition of a building that would have been subject to another exemption in this clause if it were being proposed as a new building.</li> </ul>
Septic Tanks	<ul style="list-style-type: none"> <li>▪ No further restrictions</li> </ul>
Rain Water Tanks	<ul style="list-style-type: none"> <li>▪ No further restrictions</li> </ul>
Strata subdivision of existing buildings	<ul style="list-style-type: none"> <li>▪ The existing building is lawful and complies with the Building Code of Australia.</li> </ul>
Subdivision of existing dual occupancy	<ul style="list-style-type: none"> <li>▪ Be located in Zones R2 or R3</li> <li>▪ The existing building(s) is/are lawful</li> </ul>
Health Services Facility	<ul style="list-style-type: none"> <li>▪ Located within Zones B1, B2 or B5</li> <li>▪ Be located wholly within an existing commercial building</li> </ul>
Kiosk	<ul style="list-style-type: none"> <li>▪ Be located within Zones B1, B2 or RE2</li> </ul>

#### 4.2 Development applications to be advertised

Development for any of the following purposes is advertised under Clause 5 of the Environmental Planning and Assessment Regulations, 2000:

- Subdivision creating 5 or more lots (except for subdivision described in an exemption in Clause 4.1 of this plan),
- Intensive livestock agriculture
- Intensive plant agriculture
- Offensive, hazardous, extractive and heavy industries
- Livestock processing industries
- Animal boarding or training establishments
- Forestry

- Multi dwelling housing, Seniors housing, Shop top housing and residential flat buildings comprising 5 or more dwellings
- Hostels containing 5 or more boarding rooms
- Any premises requiring a license under the Liquor Act, 2008
- Function Centres
- Restricted premises
- Service stations
- Sex services premises and brothels
- Heavy industrial storage establishments
- Transport Depots, Truck Depots, Depots, Freight Transport Facilities, Passenger Transport Facilities
- Sewerage systems servicing or intending to service more than 2 dwellings
- Air transport facilities
- Electricity generating works
- Child care centres with capacity for 40 or more enrolments
- Correctional centres
- Places of public worship with a capacity greater than 100 people
- Recreation facilities (major), Recreation facilities (outdoor)
- Cemeteries, Crematoria, Mortuaries, Funeral Homes
- Caravan Parks, Camping Grounds
- Drive through restaurants
- Tourist and visitor accommodation comprising more than 5 guest rooms
- Any other development that, in the opinion of the consent authority, is likely to have impacts beyond the immediate locality in which it is situated.

#### **4.3 Development applications altered prior to determination**

Where a development application is altered prior to being determined any community engagement required by this plan (be it notification or advertising) must be undertaken again prior to any granting of development consent unless the alterations are minor only. The notification of any such development must include writing to any prior submitters on the application.

#### **4.4 Applications to modify a development consent**

Application to modify a development consent shall be subject to the community engagement required by this plan (be it notification or advertising) as though it were a new application unless the modifications are minor only. The notification of any such development must include writing to any prior submitters on the application.

#### **4.5 Requests for the review of a determination**

A request for a review of the determination of a development application shall be subject to the community engagement required by this plan (be it notification or advertising) as though it were a new application unless it is identical to the original application or any modifications are minor only. The notification of any such development must include writing to any prior submitters on the application.

#### **4.6 Requirements for notification**

Development applications that require notification under this plan shall be notified in accordance with the requirements for a “written notice” under Part 6 Division 7 of the Environmental Planning and Assessment Regulations, 2000. In cases where the owners address recorded in Council’s rating database for a notified property is different to the street address of that property, a “written notice” shall also be sent to “the occupier” at the street address. Nothing in this clause requires a “published notice” for these applications.

#### **4.7 Requirements for advertising**

Development applications that require advertising under this plan shall be exhibited and notified in accordance with the requirements of Part 6 Division 7 of the Environmental Planning and Assessment Regulations, 2000. In cases where the owners address recorded in Council's rating database for a notified property is different to the street address of that property, a "written notice" shall also be sent to "the occupier" at the street address.

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## **PART 5 – Colonial Heritage (General)**

### **5.1 Objectives**

The objectives of heritage conservation are:

- (a) To establish good design principles to guide development to and around heritage items,
- (b) To ensure development is sympathetic to the overall heritage values and characteristics of the area,
- (c) To identify local heritage character and heritage elements of the built environment, and
- (d) To ensure the retention and management of heritage values identified for each conservation area and specific precinct.

### **5.2 General Controls**

1. Development of heritage items and development on land within heritage conservation areas shall demonstrate consistency with the NSW Guidelines for Development in Conservation Areas '*Design in Context*'. In particular the impact of the following aspects of a development should be considered:
  - **Height and scale** - must respect the predominant scale (building height, bulk, density and massing) of the heritage buildings in the vicinity in order to retain the prevailing scale of the Conservation Area. The impact of an inappropriately scaled building cannot be compensated for by building form, design or detailing.
  - **View corridors** - must be retained to and from significant features within the Conservation Area.
  - **Architectural style and form** - must be compatible with the existing heritage buildings in the vicinity.
  - **Materials, detailing and colour schemes** - must respect the materials of the existing heritage buildings in the vicinity.
  - **Siting** - must respect existing patterns of building setbacks of heritage buildings from property boundaries, which contribute to the harmony of the streetscape.
  - **Cumulative impact** - must be considered to ensure that the characteristic features of the conservation area that give harmony and cohesiveness to streetscapes and individual buildings are not eroded.

### **5.2 Controls for particular development types**

#### **1. Advertising and Signage**

The following requirements apply to advertising and signage where proposed on a listed heritage item building or on land which contains a heritage item or on land within a heritage conservation area.

1. Advertising and business signage must be designed to complement the heritage quality of the building.
2. Signage is not to compete with architectural features of the building or to dominate the streetscape.
3. Signs (which may include the wording content and lettering styles) that would have an adverse impact on the heritage character of buildings will not be supported.
4. The location of signage must be consistent with the historic setting.

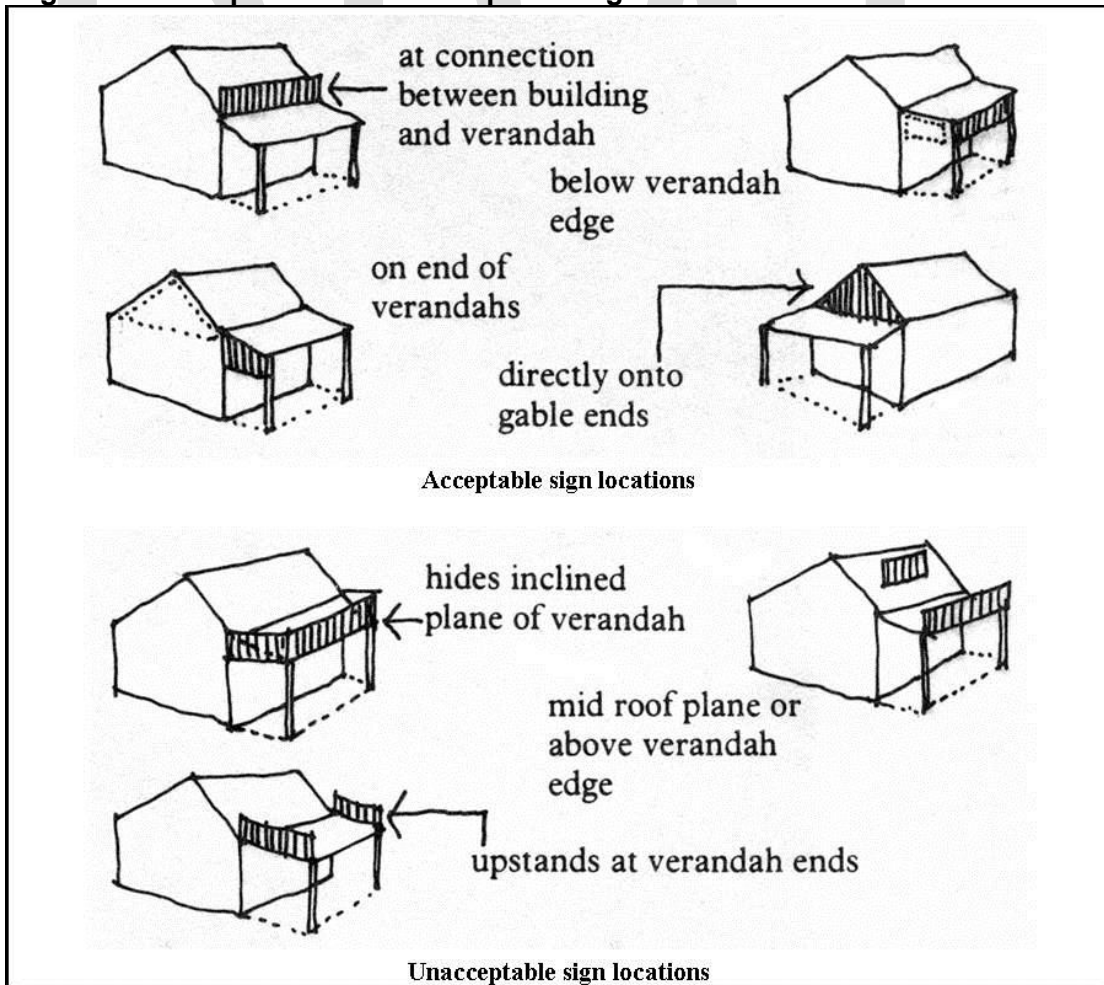
*Note: Refer to Figure 1 for an example picture of acceptable sign location and Figure 2 representing acceptable and unacceptable sign locations*



**Figure 1 – Photographic representation of an acceptable sign location**



**Figure 2 – Acceptable and unacceptable sign locations**



1. Architectural treatments must be consistent with the existing form of building (in the case of development of a heritage listed building) and the built form of the conservation area (in the case of a development within a conservation area). Consideration shall be given of the elements of building design such as the scale, plan, roof form, verandahs, walls, fenestration, building materials and colour, and existing outbuildings.
  2. For renovation or restoration, significant exterior elements of heritage buildings and/or buildings that contribute to the heritage character of a conservation area must be retained.
  3. The roof pitch of any addition or extension must be complementary to the existing roof pitch of the heritage building (if altering a heritage building) and/or of the pitch established in the character of the heritage conservation area (if altering a building in a heritage conservation area).
  4. Additions or extensions must not overwhelm the any heritage listed building being extended or located in the vicinity in a heritage conservation area.
  5. Front setback areas of heritage buildings and/or buildings that contribute to the heritage character of a conservation area must be retained.
  6. The front facades of individual heritage items must not be significantly altered from their original form, as viewed from primary and secondary street frontages.
  7. Where possible, existing fences, gates and retaining walls and other ancillary structures should be retained where in style with the heritage item.
- 3. Demolition of Heritage Items**
1. Heritage Items subject to this volume will not be permitted to be demolished unless there exists exceptional circumstances what warrant the demolition. In considering if there are exemption circumstances the consent authority shall consider:
    1. If the building can reasonably be expected to be used for a permissible use within the zone if it were to remain (including the likelihood that any required repairs could reasonably be expected to be undertaken); and
    2. The extent of the impact on the broader community and future generations of the loss of the item.
- 4. Subdivision of land containing a heritage item and/or land within a heritage conservation area**
1. Must not compromise or adversely affect any historic layout of the subject lot and heritage significance of the original lot pattern.
  2. Must not compromise the curtilage of any heritage item or significant complimentary building, garden, driveway or other relic.
  3. Where a heritage impact assessment is required, it must consider the likely location of future buildings and/or building envelopes.
- 5. Colours and built form on sites containing heritage items and within heritage conservation areas**
1. Works must use only the colours identified in Figure 3.
  2. Existing weatherboard walls are to be maintained in situ or may only be replaced with timber weatherboards. Lightweight over-cladding in imitation weatherboards (e.g. plastic, fibrous cement or metal) is prohibited.
  3. Roofs may only be corrugated, galvanised, clay tiled, clay slate or stone slate. Square profile or “cliplock” corrugated roofing is not permitted.
  4. Roof drainage may only be exposed gutters of quad, ogee or half-round profile in galvanised finish, with round downpipes in galvanised finish. Square profile or “cliplock” roofing is not permitted.

5. Window and glazed door framing may only be timber framed except in commercial shopfronts where a metal frame size approximating timber (such as Vantage Magnum) may be considered.
6. Windows and glazed doors must be vertically proportioned to match the best historic examples in the conservation area or vicinity. Windows should be double-hung or casement sash types (not sliders or hopper windows over a fixed sash).
7. Original front verandahs are to be retained in all new work and restoration must match original proportions and details.
8. Chimneys must not be removed unless they are structurally unsound and unable to be restored.
9. Commercial development car parking must be provided behind the main building alignment. Parking areas and access driveways should be visually discreet and must be accessed via a rear lane where available.
10. Verandahs must not be enclosed. Ground floor verandahs should not be enclosed by balustrades unless required under the BCA.
11. Original unpainted brickwork and stonework should remain unpainted.
12. Paint schemes should be simple. Applied finishes to external walls should be of subtle, earthy tones that complement the streetscape. Typically, this would be one color for the body of the building and one or two colors for the trim.
13. Plant species types and landscaping formations found in and around the Heritage Conservation area should be featured in new developments.

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**Figure 3 – Palette of acceptable colours**

*Note:* Creams to be used for walls. Dark colours for timber joinery only. Close equivalents from other manufacturer’s colour ranges may be considered. French Grey was an interior colour only (Source: Pascal Heritage Colour Chart c1980).





**5.2 Adaptive reuse proposals for Heritage items**

1. Any proposal involving the adaptive reuse of a heritage item must demonstrate that:
  1. The new use requires minimal alterations to significant fabric and building elements, and that any changes to these are reversible or have minimal impact on the heritage significance of the item.
  2. Any internal changes where visible from a public street do not compromise the external heritage significance of the building.
  3. Alterations and/or additions must meet the requirements for alterations and additions as provided in this section and the adaptive re-use must maintain the understanding of the building's original use.

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## **PART 6 – Heritage (Specific Locations)**

### **6.1 Objectives**

The objectives of heritage conservation are:

- (a) To provide specific guidance and controls for development of key conservation areas in Wollondilly.

### **6.2 Application**

These controls apply in addition to the controls contained in Part 6 of this volume. Where there is an inconsistency between Parts 5 and 6 of this volume Part 6 shall prevail to the extent of the inconsistency.

### **6.3 Heritage Conservation Area - Menangle**

#### **Character Description**

Menangle Village, created in the 1850's and 1860's, is unique in that it has remained essentially contained within the settlement boundaries formed by village development by the second decade of the 20th century. It was established by the Macarthur family for their estate workers and was centred on St James' Church, then later the school and the general store.

The town has had a strong association with the dairy industry, which developed following the opening of the railway after construction of the railway bridge over the Nepean River in 1863. The railway line became the commercial focus of the village and the growing dairy industry and the historic character of the village, as we see it today, is largely a reflection of the railway-related development that took place in the late 19th and early 20th centuries.

Further evidence of the association with the dairy industry includes buildings such as the Camden Estate Central Creamery (1910) and Rotolactor (1952) and worker cottages for the nearby Camden Park Estate (1870's to 1920's). The Macarthurs of nearby Camden Park Estate patronised the Village and were directly responsible for many of the fine buildings in Menangle, which assisted the village to grow and gives its character. They paid for St James's church (including Horbury Hunt's nave in 1876 and Sulman's chancel and steeple in 1898) and in circa 1904 they built the present General Store (used by the Estate as its buying agent for all provisions, stores, seeds fuel etc),

#### **Objectives**

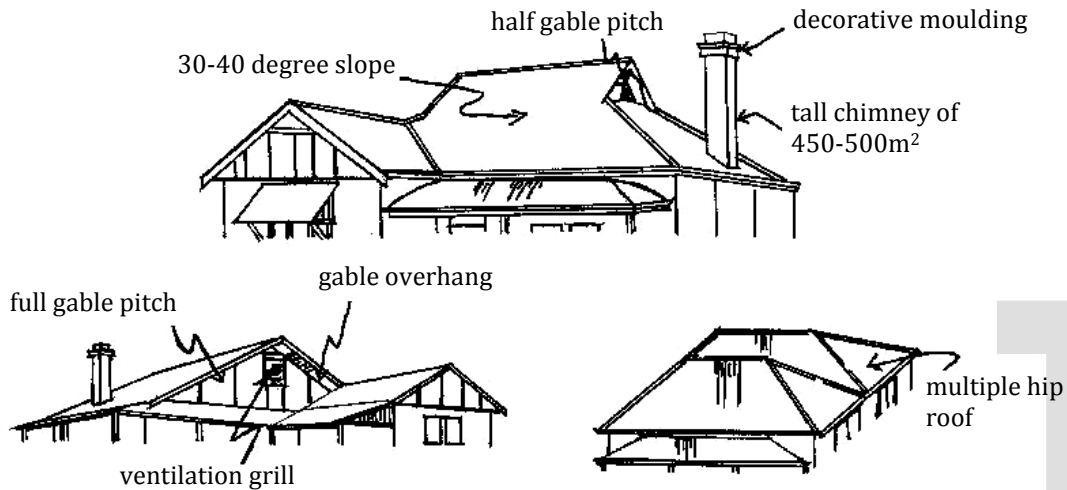
- (a) To ensure development is sympathetic to the heritage character of the Menangle heritage conservation area,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of Menangle, and
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements.

#### **Controls**

1. New development must have a minimum front building set back of 6 metres.
2. Maximum allotment width of 25 metres where located within a residential or commercial zone along Menangle Road within the Heritage Conservation Area.
3. All dwellings must have a front building façade width of between 7.5 and 10.5 metres.
4. The height of a new dwelling is not to exceed one storey in height.

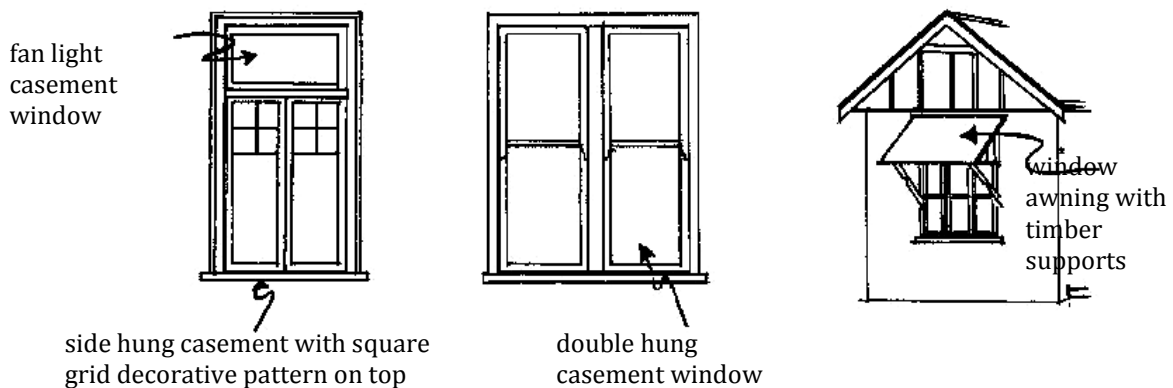
- The pitch of new roofs must generally match the slope of existing earlier dwellings which average 30 to 40 degrees in slope. To provide contrast and variety to roof forms, gable overhangs, eaves, half gables and ventilation grills are encouraged to be used as devices to give a visual interest and help new developments relate sympathetically to the architectural character of the existing buildings. Dwelling roofs should have a corrugated finish. Roofs can be either painted or be colorbond. Colours should be similar to those found elsewhere in Menangle.

**Figure 1 – Examples of Traditional Roof Forms**



- Chimneys are a prominent aspect of many roofs in Menangle, most of the existing chimneys have a single flue and are approximately 450 to 500 square millimetres and located at the back or side elevations. The incorporation of chimneys in the design of new dwellings should achieve a similar dimension and scale to those earlier dwellings. The decoration of new chimneys should also be in the form undertaken on the earlier dwellings.
- Windows must be timber framed. They are to reflect examples used in early cottages within the village. Vertically proportioned timber frame side hung easements and double hung sash windows must be used. Fanlight casement windows can be used above windows and doors for extra glazing and light.
- Window awnings, roofed with corrugated galvanised iron, flat sheet steel, ripple iron or timber shingles with timber supports may be used where appropriate to the design of the dwelling. Square profile or “cliplock” roofing is not permitted.

**Figure 2 – Examples of Window Styles and Use of Awning Hoods**



9. Doors must reflect the examples used in early cottages within the village. External doors on major elevations must be timber consisting of up to five panels with the top two or three panels of which may be glazed.
10. French doors can be used on front and/or side elevations opening onto a verandah, following the general design character of traditional village examples. French doors must be of timber frame and panelled base sections, narrow vertical proportions and 1 to 3 panes of glass.

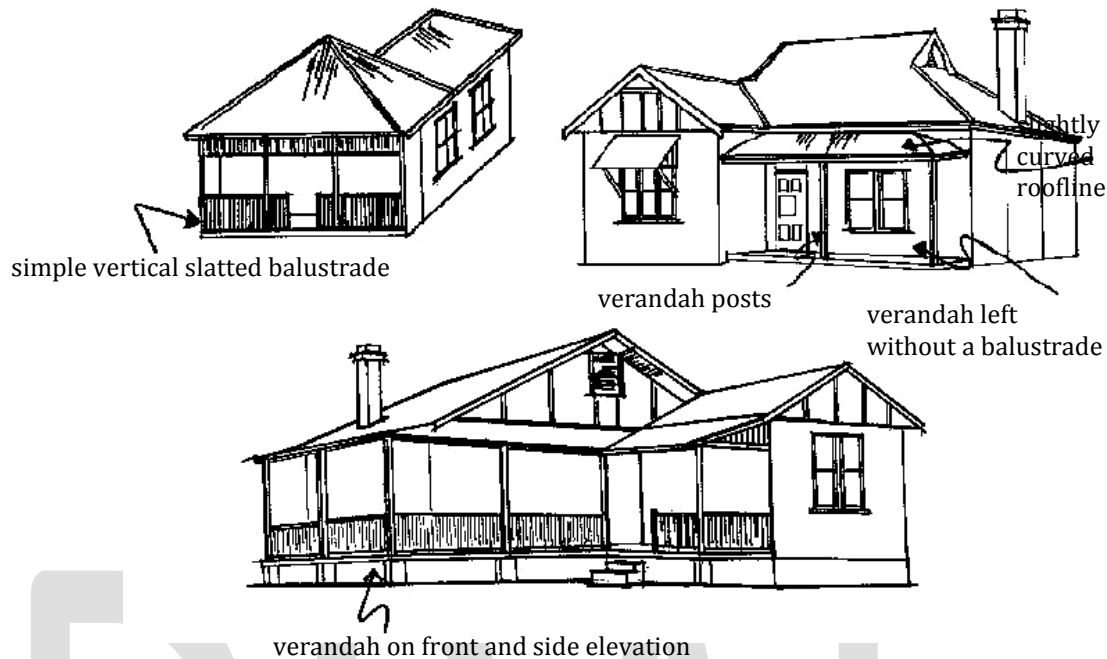
**Figure 3 – Doors used in Early 20th Century Dwellings**



11. Verandahs contribute to a house's Heritage character. The predominant shape of verandahs within the village consists of a slightly curved verandah roof of a convex profile. Bullnosed and concave profile verandah roofs are not considered to be appropriate forms for Menangle and therefore are not encouraged. Verandahs should be constructed of the same or similar materials used for the residence as a whole. Timber shall be used for verandah framing and balustrades as well as for decorative detailing. Verandahs can also be left without a balustrade, or may be fitted with simple vertical slated balustrades. Cast iron or pre-cast concrete verandah posts and balustrades are acceptable, so long as they are characteristic of existing styles and forms used on earlier cottages.

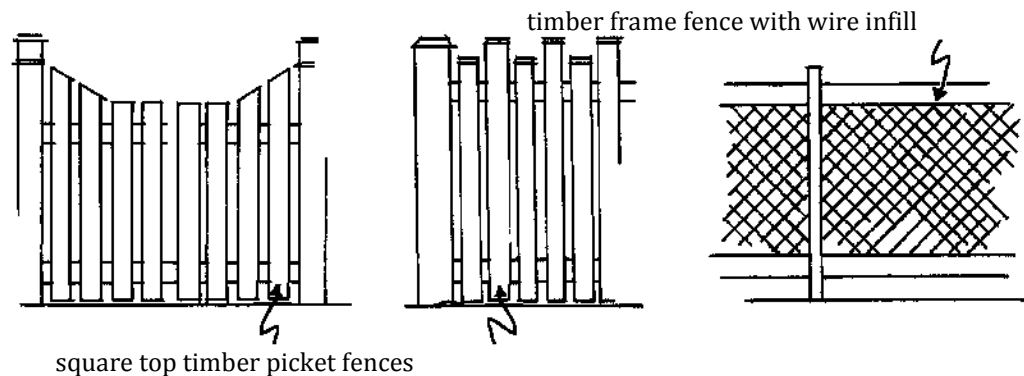


**Figure 4 – Examples of Verandah Styles & Forms in Menangle**



12. External walls may be only timber weatherboard, bagged or rendered brick, or face brick to match the colour and texture of the bungalow at 106 Menangle Road.
13. Driveways may only be gravel, brick drive strips, clay brick unit pavers, asphalt, 8% black oxide coloured concrete (to match asphalt) in broom finish.
14. Fences
  - A. Front fences must be constructed to a height of 1.2 metres (*as per Housing Code*). Front fences must be constructed of wooden picket, wooden post and rail, or wire mesh enclosed by wooden post and rails. Timber paling fences are the preferred option for side and rear boundary fences.
  - B. Except for hedges, all fencing in front of the main elevation of the house must be able to be seen through (i.e. not a solid wall).
  - C. Fence types must only be one of the following and consistent with the style of building being fenced:
    - woven wire with steel posts and rails in timber sizes,
    - wire with timber strainer posts,
    - mesh with timber strainer posts,
    - timber post and rail,
    - timber picket or timber paling.
  - D. All front fences and boundary fences to the road must be constructed to a maximum height of 1.2 metres above natural ground level.
  - E. All present and future front boundary hedges shall be maintained at a maximum height of 1200 mm above natural ground level.
  - F. Fencing along boundaries to public open spaces, where installed, shall be either of wire or wire mesh utilising timber straining posts or of timber post and rail design to a maximum height of 1400 mm.
  - G. Hedges, trees and shrubs may be planted for privacy.
  - H. Internal boundary fences including those between lots, where installed, shall match the fencing along boundaries to public open spaces OR be stone or timber paling construction to a maximum height of 1600 mm not extending forward of the building line.
  - I. Neighbours may plant hedges, trees or shrubs in addition to or instead of fencing.
  - J. Hollow section metal picket and metal sheet fencing are not permitted.

**Figure 5 – Traditional Fence Construction Used in Menangle**



15. Landscaping should utilise species of trees appropriate to Menangle including brushbox, silky oaks, pepper trees, monterey cypress, poplars and canary island palms, jacaranda and various eucalypt species. Slightly smaller trees and hedge planting should also be used for screen planting. Appropriate species include camellias, crepe myrtles and common olive. Vines on trellises and low shrub planting and flowering perennials in traditional cottage garden plans are encouraged

#### 6.4 Heritage Conservation Area - Picton

##### Picton Heritage Conservation Precincts

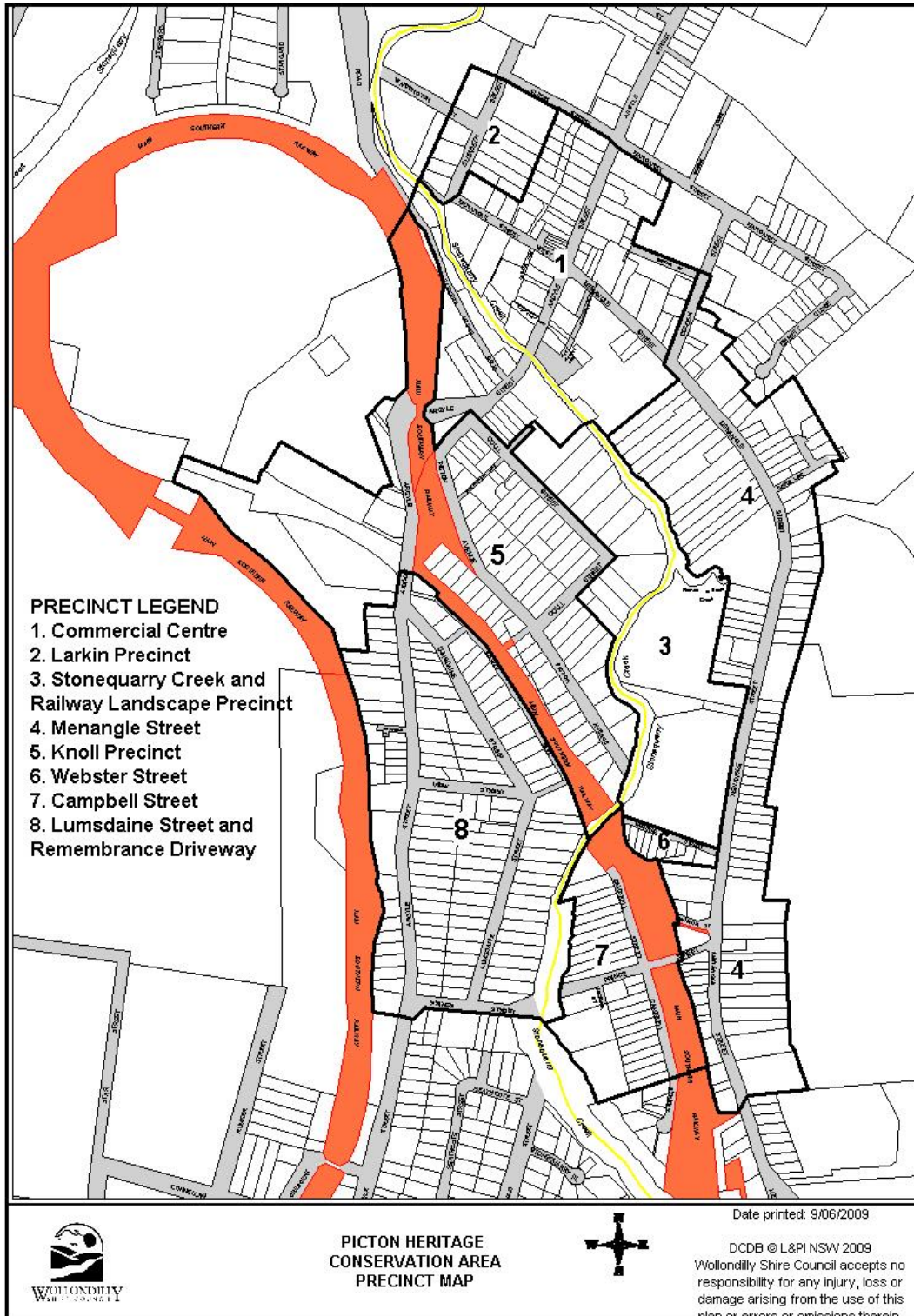
Distinct precincts are identifiable within the heritage conservation areas in the Picton town centre, namely:

1. Commercial Centre.
2. Larkin Precinct.
3. Stonequarry Creek and Railway Landscape Precinct.
4. Menangle Street.
5. The Knoll Precinct.
6. Webster Street.
7. Campbell Street.
8. Lumsdaine Street and Remembrance Driveway

Specific character description, development objectives and controls are provided for each precinct within the Picton Heritage conservation Area that reflects their unique character and contribution towards the overall heritage significance of the town.

These precincts are shown on Map 1 below.

**MAP 1 – PICTON HERITAGE CONSERVATION AREA PRECINCTS**



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**Precinct 1 – Commercial Centre****Character Description**

The commercial centre precinct forms a part of the private town of Picton subdivided on Major Antill's Estate Jarvisfield in 1841. Key historic buildings within the precinct include the Picton Lockup and Court House (1865), the former CBC Bank and Coach House (1882), the former Post Office (1892), the George IV Inn (1839) located on the southern banks of Stonequarry Creek and the adjacent Stonequarry Creek Bridge Piers (1899). There are also a number of shops dating from the late 19th and early 20th centuries. The former Wollondilly Shire Hall (1915) in Menangle Street demonstrates the historic importance of the town as the municipal and administrative centre of the Shire in the early 20th century.

There is a cluster of significant buildings and associated railway infrastructure extending from Stonequarry Creek up the rise south along Argyle Street, starting with the former railway hotel (circa 1880), Anglican rectory (circa 1860) and finishing the commercial precinct with the railway bridge or 'hole in the wall' (1918) which merges into Precinct 5 – The Knoll Precinct.

**Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Commercial Centre Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Commercial Centre Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To encourage the retention of significant shop fronts,
- (e) To promote the retention and reinstatement of original and characteristic shop front elements, and
- (f) To ensure that alteration, additions and the construction of new buildings do not compromise the integrity and consistency of the commercial centre.

**Precinct 2 – Larkin Precinct****Character Description**

The Larkin Precinct is characterised by low lying flood prone land adjacent to Stonequarry Creek, containing examples of early detached cottages built by Thomas Larkin who constructed the first steam mill in the region. Key historic buildings include the St Marks Anglican Church (1857), and associated pioneer cemetery and gardens and cottages in Elizabeth Street (circa 1830) built by Thomas Larkin. Unfortunately there are unsympathetic residential buildings constructed within the precinct which detract from the overall heritage significance of the area.

**Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Larkin Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Larkin Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To ensure development reflects the traditional architectural design and form of the existing cottages in the precinct, and
- (e) To encourage re-vegetation and weed eradication of the Stonequarry Creek riparian zone as part of future development activities.

**Controls**



1. The architectural form of new dwellings must be designed in sympathy with the simple character of existing Larkin cottages in Elizabeth Street and must utilise traditional building elements and design.
2. Fences must be constructed of wire mesh with wooden support posts.
3. New dwellings must have a gable roof pitch with a minimum 30 degree angle.
4. Development in this Precinct must be constructed in accordance with the flood controls contained in this Volume.

### **Precinct 3 - Stonequarry Creek Precinct**

#### **Character Description**

This precinct is characterised by Stonequarry Creek, its associated floodplain and vegetated riparian buffers. In conjunction with Victoria Park, enclosed by a group of significant exotic trees of heritage value and the surrounding playing fields on the Picton Show lands, the precinct forms a unique vegetated and semi-rural backdrop to Picton. Due to the presence of the floodplain there are a limited number of buildings within the precinct.

#### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Stonequarry Creek Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Stonequarry Creek Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To retain the semi-rural and relatively undeveloped open feel of the Precinct, and
- (e) To encourage re-vegetation and weed eradication of the Stonequarry Creek riparian zone as a requirement of future development activities.

#### **Controls**

1. Development in this precinct must be constructed in accordance with the flood controls contained in this Volume.
2. Development must maintain the visual landscape character of Victoria Oval.
3. Development on or adjoining Victoria Oval must ensure minimum impact on existing old cattle yards and the existing bunya pine.

### **Precinct 4 – Menangle Street**

#### **Character Description**

The Menangle Street Precinct provides an aesthetic heritage gateway into Picton, which is due to the number of 19th and early 20th century buildings appearing at intervals along the road. Key historic buildings include the Imperial (former Terminus) Hotel (1863), Wendover House (1886), and the former Great Southern Hotel (circa 1885). The development of the railway yards and associated infrastructure in the 1890s led to the development of a small commercial area near the railway station.

Key historic buildings in the Precinct include the Jarvisfield Store (1863), Stationmasters House (1877) and Railway Station (1863), former Furrier's factory (1920) and the former railway turntable and inspection pit for the Great Southern Railway Line.

The well established landscaping along the street incorporates a mix of introduced deciduous and native trees adding to the visual context and overall gateway feel of the Menangle Street approach into Picton. Unfortunately there have been unsympathetic residential flat buildings constructed along Menangle Street which detract from the overall heritage character of the precinct.

### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Menangle Street Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Menangle Street Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To recognise the heritage significance of Menangle Street in providing the historic gateway to the town of Picton,
- (e) To ensure medium density infill development is undertaken to be sympathetic to the heritage and gateway character of the Precinct, and
- (f) To encourage re-vegetation and weed eradication of the Stonequarry Creek riparian zone.

### **Controls**

1. New development, including infill, must have regard to the importance of Menangle Street as the historic gateway to Picton and reflect the architectural characteristics of existing buildings.
2. New development is to maintain existing historic sandstone kerb and guttering in-situ. (Note: listed as a heritage item under Schedule 5 of the LEP)
3. Fences must be constructed of wire mesh with wooden support posts.
4. Development in this Precinct must be constructed in accordance with flood controls in this Volume.
5. Any proposed new development on allotments backing onto Stonequarry Creek must consider revegetation and weed eradication measures as part of any landscape plan.

## **Precinct 5 – The Knoll Precinct**

### **Character Description**

The Knoll Precinct is characterised by a number of significant one and two storey heritage buildings which provide it with a sense of place and denote its contribution towards the development of Picton. The precinct can be divided; firstly into railway infrastructure and associated buildings along Argyle Street and secondly, residential cottages on the northern side of the main southern railway line.

The railway bridge or 'hole in the wall' (1918) begins at the rise into the hill with the former main line railway tunnel, commonly known as the mushroom tunnel (circa 1860). The significant area to the north of the main southern railway line is residential in character with significant weatherboard and brick cottages along Picton Avenue built in the early 20th century, which feature the railway line as a backdrop and have significant views over Picton towards Antill.

A significant structure in the Precinct is the railway viaduct over Stonequarry Creek, constructed between 1863 and 1867, located adjacent to the park and the old Picton swimming pool at the end of Picton Avenue.

### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Precinct, and
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements.

### **Precinct 6 – Webster Street**

#### **Character Description**

The small cottages of Webster Street are thought to have been built for railway workers, mainly in the 1890s. They tend to show similar design character and style, particularly evident from complementary rooflines and front verandahs although most have been extended at the rear elevation. From the street, the significant cottages of Webster Street show evidence that their original form is still intact, and provide an historic link to the development of the railway in Picton.

#### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Webster Street Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Webster Street Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To maintain the existing view corridor across Victoria Park towards Antill,
- (e) To maintain the historic significance of the single row of weatherboard cottages purpose built to house railway workers, and
- (f) To encourage in-fill development that reflects the simple design character of the existing railway cottages.

#### **Controls**

1. Renovation, maintenance and restoration must be simple in architectural design and be sympathetic with the modest character of the existing cottages in the precinct.

### **Precinct 7 – Campbell Street**

#### **Character Description**

The Campbell Street cottages have local significance as evidence of the town's early residential development along the railway line, associated with the Jarvisfield subdivision initiated by Antill. More generally, it is also significant because of its contribution to the important stock of early buildings and townscape features of the town as a whole and the Picton Heritage Conservation Area. Its proximity to the railway station and relative consistency of style, form and materials strengthens this contribution. The group also has local aesthetic and streetscape significance as a typical representative group of modest Federation period (c1890 to c1915) cottages.

As documented in historic photographs taken c1900, the original Campbell Street railway workers' cottages were built mainly by the 1890s. Most of the cottages were of a simple colonial style, with timber weatherboard walls and a steep pitched hipped, tin roof over the original cottage, sometimes with a skillion roof addition at the rear. Two are later Arts and Crafts style influenced cottages, built c1915. Two cottages, one at each end of the street were more substantially built brick wall structures thought to have been built for more senior railway officers. Historic photographs dating from circa 1900 show most of the backyards as being open and used for garden, vegetable and tree planting. By 2007 a few of the cottages had been extended and a few newer cottages had been built in the street. Overall, Campbell Street is the most significantly intact colonial period streetscape in the Shire.

**Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Campbell Street Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Campbell Street Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To maintain the aesthetic and architectural character design of the Campbell Street Precinct as intact row of purpose built railway cottages, and
- (e) To encourage the restoration of existing cottages and maintain the visual continuity of the Precinct from the Campbell Street frontage.

**Controls**

1. Development must be designed in sympathy with the best characteristics of this historic late Victorian period streetscape.

**Precinct 8 – Lumsdaine Street and Remembrance Driveway****Character Description**

The precinct is of heritage significance in that it represents a transitional area of development between lower Picton, now the main town centre, and upper Picton, formerly known as Redbank. Lumsdaine Street contains a highly intact grouping of late 19th century residences representing the boom period of Picton's growth (circa 1860 – 1910) built facing the railway line that have significant view lines of, Stonequarry Creek, the Prince Street Bridge and the main southern railway line.

The stretch of Remembrance Drive contains a number of significant homes built in the 19th and early 20th centuries, which are generally grouped together in three or four adjoining properties. Well established landscaped gardens and mature trees add to the character of the precinct. Homes of particular significance include Fairview (circa 1900) and the former gatehouse and toll keeper's cottage (1867) built adjacent to the former level crossing site of the Picton – Mittagong Railway Line.

**Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Precinct,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To ensure that alterations and extensions to existing buildings are sympathetic in design maintaining / restoring the original architectural features, and



- (e) To maintain significant view lines to the main southern railway line, Stonequarry Creek and the Prince Street Bridge for any new development in Lumsdaine Street.

### **6.5 Heritage Conservation Area - Thirlmere**

#### **Character Description**

The Conservation Area contains local significance as a village centre and a relatively intact late 19th century streetscape relating to the construction of the southern railway line. Many of the residences particularly along Thirlmere Way, relate directly to the construction of the line and the commercial buildings in the main street generally reflect the railway village character of Thirlmere. Thirlmere is known to railway enthusiasts as the home of the NSW Rail Transport Museum (otherwise identified as Thirlmere Rail Heritage Centre).

Further significant themes contributing towards the heritage of Thirlmere include the timber industry, early pastoralist and agricultural pursuits in the surrounding district, the building of the Queen Victoria Hospital for sufferers of tuberculosis in 1886, and the post World War I and II migration of Estonians who settled west of the village and were significant contributors towards the development of poultry production in the Shire.

The first major impetus to development was the 1882 subdivision of Creighton's 1850 grant and a total of three main subdivisions completed during the 1880s, which formed the basis of Thirlmere's settlement pattern today. This minor land boom led to the construction of several substantial buildings including shops, the Welcome Inn, the public school (1888) and the railway station. Thirlmere railway station, originally called Redbank was opened in 1883.

#### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Thirlmere Heritage Conservation Area,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Thirlmere Heritage Conservation Area,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To encourage the development of new commercial buildings that are sympathetic in design to existing heritage buildings incorporating skillion verandahs to the edge of the street, and
- (e) To retain the historic association of Thirlmere and the former great southern railway line with any new development.

#### **Controls**

1. New Commercial Buildings must incorporate skillion verandahs that extend over the footpath to the street edge.

### **6.6 Heritage Conservation Area - Warragamba**

#### **Character Description**

The township of Warragamba is significant through its direct association with the development of the Metropolitan Water Supply System in NSW. Although originally built as temporary accommodation for workers constructing Warragamba Dam, the township is unique in that it has survived as opposed to other purpose built accommodation towns for the construction of the Metropolitan and Snowy Mountains Dams, which are no longer intact.

The conservation area is significant in its design, with a central park featuring established trees and the town hall which has significant views west to the Greater Blue Mountains World Heritage Area. The town centre incorporates commercial buildings, the church and the school.

The existing commercial strip within the Warragamba town centre forms the boundaries of the heritage conservation area. This area has been identified due to its significant history and potential for redevelopment which recognises past historic connections and to encourage development which is attractive to the tourism industry and does not detract from the visual setting of the area. It is recognised that existing buildings within the heritage conservation area are generally non-contributory elements which in some cases are in bad disrepair and could benefit from a revitalisation in line with the heritage character of the Warragamba township.

### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the Warragamba Heritage Conservation Area and the town itself,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the Warragamba Heritage Conservation Area,
- (c) To encourage the removal or upgrading of non-contributory elements in the area so as to enhance the setting of contributory elements,
- (d) To encourage the redevelopment of commercial zoned land in Warragamba,
- (e) To encourage the simple, post WWII architectural design character features for new buildings within the conservation area,
- (f) To maintain the existing view corridor from the conservation area west to the Blue Mountains World Heritage Area, and
- (g) To ensure new development maintains the historic significance and association of the town with the construction of Warragamba Dam.

### **Controls**

1. New building design must be sympathetic to and reflect the simple, post WWII architectural design character of original buildings within the Warragamba village.
2. New commercial buildings must maintain significant view lines west to the Blue Mountains World Heritage Area where present.
3. Simple designed skillion verandahs that extend over the footpath are encouraged when designing new commercial buildings within the precinct.

## **6.7 Heritage Conservation Area - Yerranderie**

### **Character Description**

The Yerranderie Conservation Area is a partially intact mining town located in the far west portion of the Shire, west of Lake Burragorang within the greater Blue Mountains World Heritage Conservation Area. The settlement is encompassed on three sides by precipitous cliffs.

European activity within the area commenced in the early 1800's and prospered in the 1890's following the discovery of silver ore in the area. The population reached a peak of 2000 in 1911. The Depression, industrial disputes, transport difficulties and poor market conditions contributed towards the decline in mining operations, most of which had ceased by the mid 1930's. The area was further isolated by the flooding of the Burragorang Valley which cut direct access from Camden and Picton in 1960. The isolation and location factors contribute towards Yerranderie's heritage significance and representation of an early 1900's mining settlement.

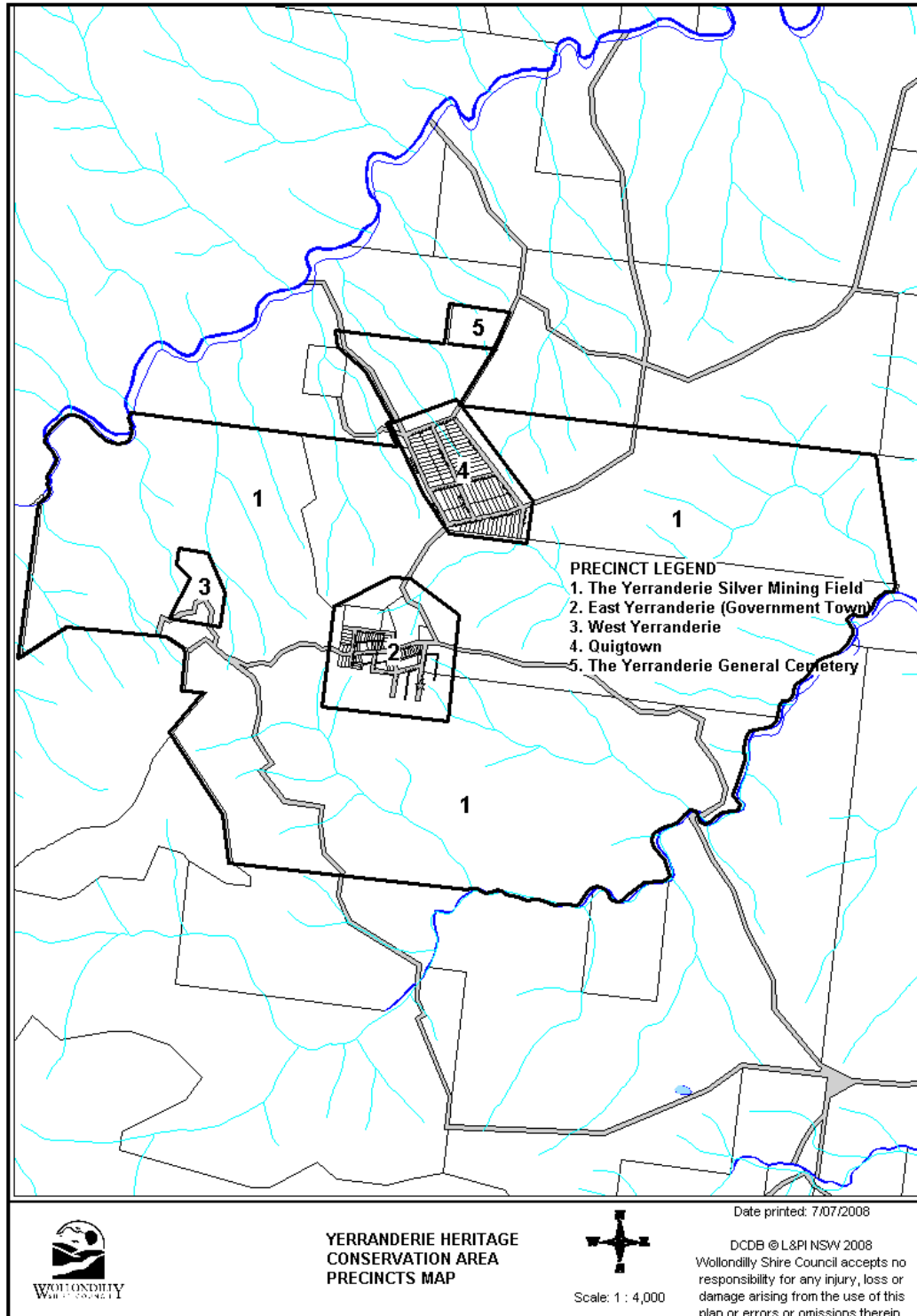
There are five main precincts of the Yerranderie Heritage Conservation Area namely:

1. Yerranderie Silver Mine Field and General Cemetery
2. East Yerranderie (Government Town)
3. West Yerranderie
4. Quigtown

5. The Yerranderie General Cemetery

For the purposes of this DCP, the Yerranderie Heritage Conservation Area has been divided into these precincts that comprise the conservation area. These are shown on Map 2 below.

**MAP 2 – YERRANDERIE HERITAGE CONSERVATION AREA PRECINCTS**



## **Precinct 1 - The Yerranderie Silver Mining Field**

### **Character description**

The Yerranderie Silver Mining Field is comprised of five mines containing a rich assemblage of large and small mining equipment of the 1910' to 1920's period. Significant former mines include the Boreblock Mine 1904 (Silver Peak Mine consisting of crushers and mine shafts) and Bartlett's Mine 1898 (a diagonal shaft). The site also contains the Silver King Mine and Wollondilly Mine (consisting of steam winding engines). The Yerranderie Silver Mining Field is often the collective term used to describe the whole area identified as the Yerranderie Heritage Conservation Area, as it was the major elements contributing to the development of the Yerranderie Settlement.

### **Objectives**

- (a) To retain physical evidence of Yerranderie's past settlement and mining activities,
- (b) To actively conserve a full range of evidence representing the history of development of the area as a silver mining town,
- (c) To reinforce and promote the character and identity of the Yerranderie Silver Mining Field recognising its contribution towards the development of the area and sense of place,
- (d) To promote understanding and appreciation of Yerranderie's cultural heritage resources to encourage appropriate conservation activities by private owners, visitors and resource managers,
- (e) To present and interpret the historic evidence of the silver mining field for the enjoyment and education of people associated with early mining activities and visitors of the area, and
- (f) To protect remaining graves and fencepost remains in-situ from disturbance and regeneration of vegetation within the vicinity of the general cemetery.

### **Controls**

1. Visible remains, graves, ruins, and structures associated with the mining fields must be conserved and retained in situ. Any development within the vicinity of such items requires an archaeological survey.
2. Any new development must assist in the interpretation of the former silver mining fields as an educational resource.

## **Precinct 2 - East Yerranderie (Government Town)**

### **Character description**

The East Yerranderie Group consists of a mixture of original buildings, a number of sites, remains, ruins and several new dwellings. Significant original buildings include the former Police Station (1896), Courthouse (1906/07), St Senan Catholic Church (1907) and Deacon's cottage.

### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the East Yerranderie Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the East Yerranderie Precinct,
- (c) To retain in situ and protect all remaining archaeological evidence of the role of East Yerranderie including the clearly visibly remains, ruins and areas of previous social activity in the town,
- (d) To retain the historic layout where it has not been disturbed by the airstrip and new residences,
- (e) To minimise the impact of new development by encouraging development of appropriate scale, materials and alignment,

- (f) To maintain the views to surrounding bushland and escarpments and retain the open character of the settlement,
- (g) To interpret both the individual sites and the East Yerranderie Group as a whole, and
- (h) To undertake further documentation and archaeological survey of the settlement.

#### **Controls**

1. Visible remains, ruins, and structures such as Bud Singh's shop, various houses, the Silver Mines Hotel, must be conserved and retained in situ. Any development within the vicinity of such items requires an archaeological survey.
2. The sites of the former social activities namely the roller skating rink, cricket ground and racecourse must be conserved and retained in situ.
3. New development must retain the historic layout and setbacks of the town where it has not been disturbed by the airstrip and new residences.
4. New buildings must be designed and constructed to reflect the scale of existing heritage items within the town, utilising matching building materials, architectural form, historic building alignment and setback.
5. Building height is restricted to a maximum of one storey.
6. Any modification or restoration of existing heritage buildings must incorporate interpretative signage to be located at the primary street boundary.

#### **Precinct 3 - West Yerranderie**

##### **Character description**

The West Yerranderie Group consists of eight original buildings and several sites and remains of original structures. The remaining structures used for both domestic and commercial activities. Significant buildings remaining include Mrs. Barnes Boarding House (built prior to 1907), the former post office (circa 1907) and general store.

##### **Objectives**

- (a) To ensure development is sympathetic to the heritage character of the West Yerranderie Precinct,
- (b) To ensure that the design and materials used in new buildings, restoration and renovation of existing buildings is appropriate in scale and form to the character of the West Yerranderie Precinct,
- (c) To retain the original town layout, historic building alignments and setbacks for any new development,
- (e) To retain in situ, protect and to encourage the ongoing documentation of remaining archaeological sites,
- (f) To encourage the use of similar materials and a vernacular style of new buildings and garden plantings to reflect the original character of the settlement,
- (g) To maintain key views to the peak and surrounding escarpments,
- (h) To continue to interpret the role of West Yerranderie as part of the original broader settlement and mining fields with its range of residential, commercial, religious and recreational activities which can be understood through the location of various sites, remains, ruins and existing structures, and
- (i) To utilise the opportunities for the future use of West Yerranderie as an educational resource.

##### **Controls**

1. The Methodist Church, the Oddfellows Hall, the butcher's shop, the tennis court, Bartlett House and prior mining field archaeological sites must be retained in situ.
2. New buildings must be constructed of a combination of galvanised iron and timber sympathetic to the character of existing buildings.
3. Building height is restricted to a maximum of one storey.

4. Any modification or restoration of existing heritage buildings must incorporate interpretative signage to be located at the primary street boundary.

#### **Precinct 4 - Quigtown**

##### **Character description**

Quigtown has no original buildings remaining and is covered by vegetation regrowth. Despite this, Quigtown is a rich collection of sites and remains and ruins from the original development offer archaeological potential. It was noted in the 1992 Heritage Survey, three streets that form part of the original subdivision - Yerranderie, Hilder and Dobson Streets - remain visible and that several new dwellings had been constructed on the southern side of Yerranderie Street.

##### **Objectives**

- (a) To conserve the entire Quigtown area as an archaeological site to retain its layout and remains that encapsulate the residential activities which developed this part of the Yerranderie settlement,
- (b) To protect fragile elements such as garden edgings, original plantings, bases of fireplaces, dwellings water tanks and fence posts in situ from disturbance, removal, and reuse and from regeneration of vegetation, and
- (c) To encourage further archaeological survey and documentation of Quigtown.

##### **Controls**

1. Archaeological surveys are required for all new development.
2. New buildings must match the scale, architectural features and historic setbacks of the settlements original buildings.
3. Retain remnant garden plantings with any re-development.
4. Visible remains, ruins, and structures associated with early settlement must be conserved and retained in situ.

#### **Precinct 5 - The Yerranderie General Cemetery**

##### **Character description**

The Yerranderie General Cemetery is located to the north of Quigtown. The area dedicated for the cemetery is 4.5 hectares and is split into four denominations. There is 0.3 hectares of the site utilised containing approximately 39 burial sites. The oldest noted burial site is dated 23/5/1908, however there may be earlier graves that are unmarked. The site is covered by native vegetation re-growth and there are tangible remains of an early post and rail fence along the western boundary.



### **Objectives**

- (a) To present and interpret the historic evidence of the general cemetery as an educational resource demonstrating the social conditions and fabric of Yerranderie's early inhabitants,
- (b) To protect remaining graves, fencepost remains and other fragile elements in-situ from disturbance and regeneration of vegetation, and
- (c) To encourage ongoing maintenance of the general cemetery area.

### **Controls**

1. New burials must be consistent in style and alignment to the existing graves.

## **6.8 The Greater Blue Mountains World Heritage Area**

The Greater Blue Mountains was inscribed on the World Heritage List in 2000. The World Heritage criteria against which the Greater Blue Mountains was listed remain the formal criteria for this area, which may be revised periodically.

The Greater Blue Mountains World Heritage Area covers 10,000 square kilometres of wild bushland. The eight connected conservation areas of Wollemi, Yengo, Gardens of Stone, Blue Mountains, Kanangra-Boyd, Nattai and Thirlmere Lakes National Parks and Jenolan Karst Conservation Reserve make up Australia's most accessible World Heritage Area. It extends 220 km from the Southern Highlands to the Hunter Valley, and from western Sydney to the farming tablelands of the Great Divide.

The Area has a complex border, in part defined by the distribution of privately owned areas of adjacent land, and is the primary catchment for Sydney's water supply with Lake Burrangong the main holding facility. The region is also an important tourist destination for residents and visitors, supported by increasing levels of urban development and road networks.

The Greater Blue Mountains provides outstanding examples representing on-going ecological and biological processes significant in the evolution of Australia's highly diverse ecosystems and communities of plants and animals, particularly eucalypt-dominated ecosystems.

Six Aboriginal language groups treasure connections with the Country of the Greater Blue Mountains that reach back into ancient time. They are the Dharawal and Gundungurra people (in the south), the Wiradjuri (in the west and north-west), and the Wanaruah, Darkinjung, and Darug (in the north-east).

*The Greater Blue Mountains World Heritage Area Strategic Plan* provides the broad management principles for the area, and establishes the framework for the integrated management, protection, interpretation and monitoring of the values of the eight reserves that comprise the GBMWhA. Land management of the area is carried out by the National Parks and Wildlife Service, which is part of the NSW Office of Environment and Heritage, with additional resources provided by the Australian Federal Government through the Department of the Environment, Water, Heritage and the Arts.

*Source: Website for the Department of Environment and Climate Change*

## **PART 7 – Aboriginal Heritage**

### **7.1 Objectives**

- (a) To achieve appropriate means of **conservation**, management and protection for archaeological sites, Aboriginal objects and Aboriginal places of heritage significance.
- (b) To achieve compliance with the requirements of the National Parks and Wildlife Act, 1974 and associated Regulations and guidelines with respect to **Aboriginal objects and Aboriginal places of heritage significance**.
- (c) To consider and manage Aboriginal objects and Aboriginal places of heritage significance at the earliest practical stages in the land development process.

### **7.2 Controls**

An indigenous heritage and archaeological report must be prepared for any development application on land which contains a known Aboriginal object or Aboriginal place of heritage significance. The report must be prepared by a suitably qualified archaeologist. The report must be prepared in accordance with the Code of Practice for Archaeological Investigation of Aboriginal objects in NSW. A report may also be required at the discretion of the assessing officer where:

1. There is impact or disturbance to the content, or within the immediate vicinity (100 metres) of a known Aboriginal object or Aboriginal place of heritage significance;
2. There is impact or disturbance to, or within the immediate vicinity (100 metres) of a previously recorded or known Aboriginal object or Aboriginal place of heritage significance and can include a cultural landscape, an existing or former ceremonial ground, a burial ground or cemetery, a story place or mythological site, a former Aboriginal reserve or historic encampment, or an archaeological site of high significance;
3. A proposal (including subdivision) which affects primarily undeveloped land (irrespective of land size) and has the following site features:
  - river frontage
  - creek line
  - sandstone exposures at ground level larger than 5m<sup>2</sup>
  - sandstone cliff line or isolated boulder higher than 2m
  - disturbance to the roots, trunk, branches, of old growth trees, which are native to the Wollondilly Shire and greater than 150 years of age.
4. Ensure that all works cease in the vicinity of any previously unidentified Aboriginal objects or places identified during excavation and construction and that the following be notified
  - a) The Office of Environment and Heritage NSW (OEH)
  - b) A qualified archaeologist
  - c) Aboriginal stakeholders.
5. Ensure that should human skeletal remains be discovered that the following process will be undertaken:
  - a) The remains will be reported to the police and the state coroner.
  - b) Wollondilly Shire Council and the land owner will be notified of the find.
  - c) Aboriginal stakeholders will be notified of the find.
  - d) OEH NSW will be notified.
6. If the skeletal remains are of Aboriginal ancestral origin an appropriate management strategy will be developed in consultation with the Aboriginal stakeholders.
7. The find will be recorded in accordance with the National Parks and Wildlife Act 1974 (NSW) and the NSW NPWS Aboriginal Cultural Heritage Standards and Guidelines Kit.
8. The findings will be incorporated into any proposed Aboriginal Heritage Plan's management regime.



## PART 8 – Flooding

### 8.1 Objective

To reduce the impact of flooding and flood liability on individual owners and occupiers of flood prone property, and to reduce private and public losses resulting from floods, utilising ecologically positive methods wherever possible.

### 8.2 Flood Compatible Construction

- The part of any flood vulnerable building works that is below the flood planning level must use only flood compatible materials as tabulated below:

BUILDING COMPONENT	FLOOD COMPATIBLE MATERIAL
<b>Flooring and Sub-floor Structure</b>	concrete slab-on-ground monolith construction (no clay fill) suspended reinforced concrete slab.
<b>Floor Covering</b>	clay tiles concrete, precast or in situ concrete tiles epoxy, formed-in-place mastic flooring, formed-in-place rubber sheets or tiles with chemical-set adhesives silicone floors formed-in-place vinyl sheets or tiles with chemical-set adhesive ceramic tiles, fixed with mortar or chemical-set adhesive asphalt tiles, fixed with water resistant adhesive
<b>Wall Structure</b>	solid brickwork, blockwork, reinforced, concrete or mass concrete
<b>Roofing Structure (for Situations Where the Relevant Flood Level is Above the Ceiling)</b>	reinforced concrete construction galvanised metal construction
<b>Doors</b>	solid panel with water proof adhesives flush door with marine ply filled with closed cell foam painted metal construction aluminium or galvanised steel frame
<b>Wall and Ceiling Linings</b>	fibre-cement board brick, face or glazed clay tile glazed in waterproof mortar concrete concrete block steel with waterproof applications stone, natural solid or veneer, waterproof grout glass blocks glass plastic sheeting or wall with waterproof adhesive
<b>Insulation</b>	foam (closed cell types)

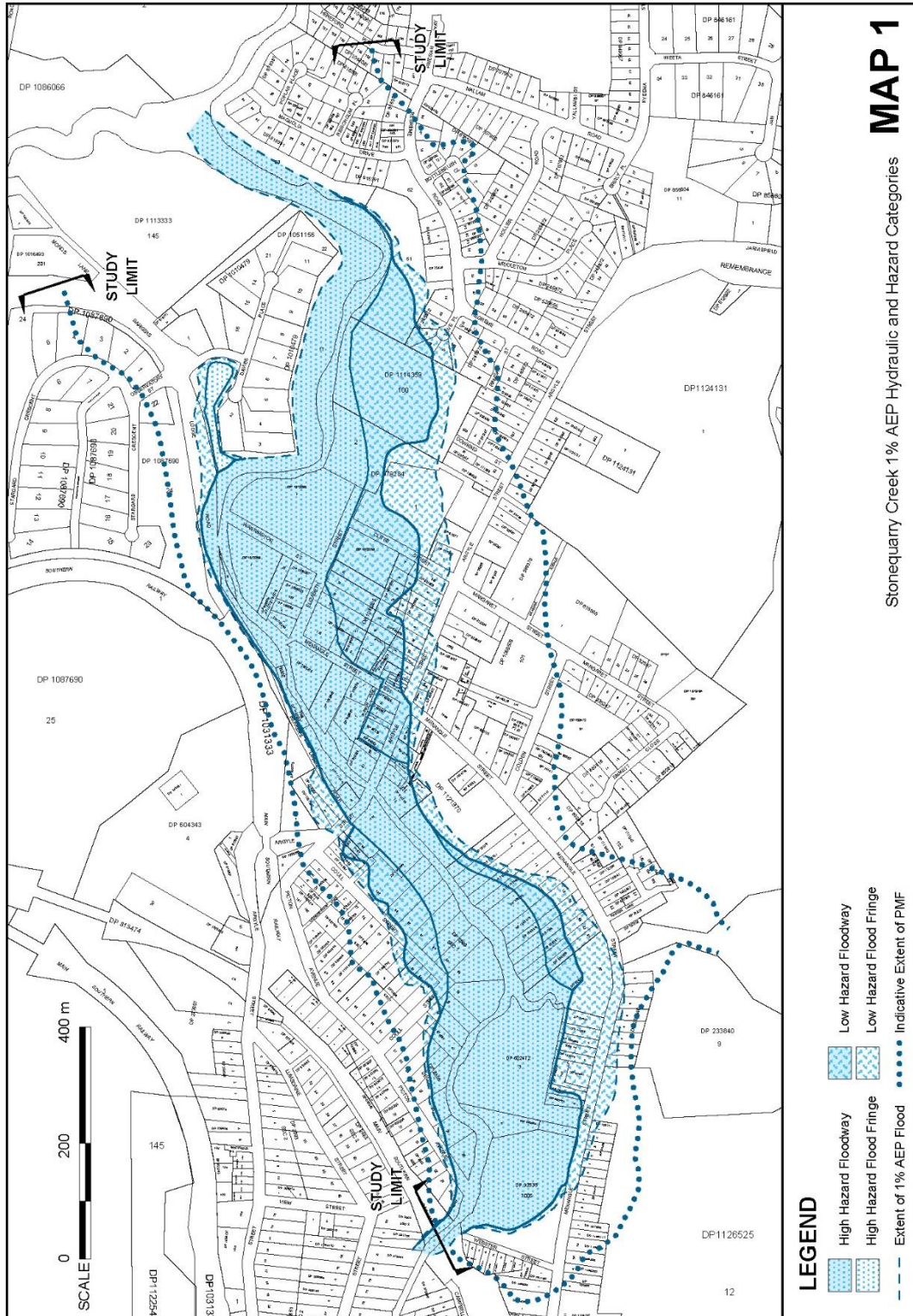
BUILDING COMPONENT	FLOOD COMPATIBLE MATERIAL
<b>Windows</b>	aluminium frame with stainless steel rollers or similar corrosion and water resistant material.
<b>Nails, Bolts, Hinges and Fittings</b>	brass, nylon or stainless steel removable pin hinges hot dipped galvanised steel wire nails or similar

2. The electrical and mechanical materials, equipment and installation must conform to the following requirements for the part of any flood vulnerable building works that is below the flood planning level:
- (a) Subject to the approval of the relevant authority the incoming main commercial power service equipment, including all metering equipment, must be located above the relevant flood level. Measures must be available to easily disconnect the premises from the main power supply.
  - (b) All wiring, power outlets, switches, etc., should, to the maximum extent possible, be located above the relevant flood level. All electrical wiring installed below the relevant flood level should be suitable for continuous submergence in water and should contain no fibrous components. Earth core leakage systems (or safety switches) are to be installed. Only submersible-type splices should be used below the relevant flood level. All conduits located below the relevant flood level should be so installed that they will be self-draining if subjected to flooding.
  - (c) All equipment installed below or partially below the relevant flood level should be capable of disconnection by a single plug and socket assembly.
  - (d) Should any electrical device and/or part of the wiring be flooded it should be thoroughly cleaned or replaced and checked by an approved electrical contractor before reconnection.
  - (e) Heating and air conditioning systems should, to the maximum extent possible, be installed in areas and spaces of the premises above the relevant flood level. When this is not feasible every precaution should be taken to minimise the damage caused by submersion according to the following guidelines.
  - (f) Heating systems using gas or oil as a fuel should have a manually operated valve located in the fuel supply line to enable fuel cut-off.
  - (g) All heating equipment and fuel storage tanks should be mounted on and securely anchored to a foundation pad of sufficient mass to overcome buoyancy and prevent movement that could damage the fuel supply line. All storage tanks should be vented to an elevation of 600 millimetres above the relevant flood level.
  - (h) All ductwork located below the relevant flood level should be provided with openings for drainage and cleaning. Self draining may be achieved by constructing the ductwork on a suitable grade. Where ductwork must pass through a water-tight wall or floor below the relevant flood level, the ductwork should be protected by a closure assembly operated from above relevant flood level.

**8.3 Declared Flood Affected Land**

**1. Stonequarry Creek – Picton**

All land within the “Indicative Extent of PMF” is Declared Flood Affected Land under this plan.



#### **8.4 Controls for Declared Flood Affected Land**

1. The consent authority shall not consent to any work on declared flood affected land unless it is satisfied that any building or other works have been provided with adequate flood proofing.
2. The consent authority shall not consent to any work on declared flood affected land unless it is satisfied that any building or other works will not result in a significant flood impact.
3. The consent authority shall not consent to any flood vulnerable building unless it is provided with evidence from a suitably qualified engineer detailing that the structure can withstand the likely conditions experienced during the storm event used to determine the flood planning level for that type of development.
4. The consent authority shall not consent to any flood vulnerable building unless it is satisfied that permanent, fail-safe, maintenance-free measures are incorporated in the development to ensure the timely, orderly and safe evacuation of people in the event of a flood.
5. Any habitable floor of a flood vulnerable building must not be less than the applicable Flood Planning Level. The consent authority shall not grant development consent to a building subject to this control unless it has imposed a condition of consent requiring submission of a surveyor's certificate detailing compliance with the applicable floor level under this control.
6. Extensions to existing flood vulnerable buildings may be permitted without raising floor levels subject to controls 8.4 (1) to (4) of this volume.
7. Subdivision of declared flood affected land shall be permitted only where all lots created can be provided with a building envelope entirely outside of the flood affected land and each building envelope will have access to permanent, maintenance-free and fail-safe provisions for evacuation such as continuously rising roads linking with high ground.

#### **8.5 Controls for Suspected Flood Affected Land**

1. For the purposes of applying this plan, the consent authority is to consider any suspected flood affected land to be a declared flood affected land unless evidence is provided to show that the development will be entirely above the relevant flood planning level based on a site specific flood assessment prepared by a suitably qualified person.

#### **8.6 Controls for Specific Flood Plains**

##### **1. Stonequarry Creek – Picton**

1. It is recognised that in the commercial zone of Picton, a requirement to set floor levels at the Flood Planning Level would unduly impact upon the streetscape and commercial viability of the town centre. Accordingly the floor level controls for a permitted structure have been relaxed in this area to allow a minimum floor level of RL 157.2 providing Council is satisfied that at least one of the following clauses is fulfilled:
  - (a) a minimum of 2/3 of the floor area to be above the Flood Planning Level; or
  - (b) flood shutters to be installed together with all ancillary devices needed to seal the building to a minimum height of the Flood Planning Level; or
  - (c) sufficient shelving to be installed to allow stock to be readily raised above the Flood Planning Level; or
  - (d) any other flood protection works which can be demonstrated to Council's satisfaction to provide an equivalent degree of flood protection to the measures identified above.
2. All landscaping must comply with the relevant provisions of the Stonequarry Vegetation Management Plan.



## **PART 9 – Environmental protection**

### **9.1 Objectives**

1. To improve and maintain environmental outcomes for the areas mapped as natural resources biodiversity and natural resources water under Wollondilly Local Environmental Plan, 2011.
2. To improve and maintain environmental outcomes for unmapped areas of biodiversity and/or riparian value.
3. To maintain strategic links to environmental areas and provide wildlife corridors and buffer zones.

### **9.2 Controls**

1. Areas mapped as Natural Resources – Biodiversity under Wollondilly Local Environmental Plan, 2011, shall not be cleared or otherwise disturbed unless the impacts are offset through bio banking or a similar environmental conservation arrangement.
2. The consent authority shall not grant consent to any development that would result in the clearing or other disturbance of an environmental asset unless it is satisfied that any adverse impacts will be offset through bio banking or a similar environmental conservation arrangement.
3. In determining an application to clear land within an environmental landscape the consent authority must be satisfied that the total development will not have a net adverse impact on the visual character of that landscape.
4. Watercourses mapped in the Natural Resources – Water map under Wollondilly Local Environmental Plan, 2011, shall not be cleared or otherwise disturbed but will be retained in the long term for environmental purposes.
5. For watercourses mapped in the Natural Resources – Water map under Wollondilly Local Environmental Plan, 2011, with a riparian buffer distance the application must include an accurate survey of riparian buffer distances to determine the exact location of the buffer which is to be measured from the top of bank of each side of the watercourse. It should be noted that the LEP maps are indicative and based on watercourse centre lines. These maps do not identify the location of the top of banks of watercourses as it is not the intent of the map to show this. The map seeks to identify what buffer distance is to be applied to each watercourse and not the special extent of that buffer on the ground.
6. All stormwater generated from any development shall be treated to an acceptable standard. In determining the “acceptable standard” the consent authority shall be mindful of the relevant guidelines of the State and Federal Governments. This treatment must be undertaken upstream of any Watercourses mapped in the Natural Resources – Water map under Wollondilly Local Environmental Plan, 2011.
7. Nothing in this section prevents minor works on environmental land for the purposes of providing infrastructure.

## **PART 10 – Tree removal**

### **10.1 Objectives**

To provide detail for the application of Clauses 5.9 and 5.9AA of Wollondilly Local Environmental Plan and to achieve the objectives of that those clauses.

### **10.2 Interpretation**

In this section a reference to removing a tree is a reference to the full range of activities described in Clause 5.9 (3) of Wollondilly Local Environmental Plan. That is, the ringbarking, cutting down, topping, loping, removing, injuring or wilful destroying of any tree.

### **10.3 Trees that may be removed without consent and without a permit**

1. A tree may be removed without development consent if it meets the requirements of Wollondilly Local Environmental Plan, 2011, and any one of the exemptions below:

- a) The tree is one of the following species:

1. African Olive (*Olea europaea*)
2. Bamboo (*Phyllostachys* spp. *bambusa* spp, *Aundanaria*)
3. Black locust (*Robinia pseudoacacia* spp)
4. Box Elder (*Acer negundo*)
5. Camphor Laurel <20 metres in height only (*Cinnamomum camphora*)
6. Canary Island Date Palm (*Phoenix canariensis*)
7. Cassia (*Senna pendula*)
8. Chinese Celtis (*Celtis sinensis*)
9. Cocos palm/queen palm (*Syagrus romanzoffiana*)
10. Leighton's green Pine (*Cupressocyparis x leylandii*)
11. Cootamundra wattle (*Acacia baileyana*)
12. Coral Tree (*Erythrina x sykesii*)
13. Cotoneaster (*Cotoneaster* spp.)
14. Date Palm (*Phoenix dactylifera*)
15. Evergreen Alder (*Alnus jorulensis*)
16. Evergreen Ash (*Fraxinus griffithii*)
17. Golden wreath wattle (*Acacia saligna*)
18. Honey Locust (*Gleditsia triacanthos*)
19. Ice cream bean (*Inga edulis*)
20. Privet (*Ligustrum* spp)
21. Oleander (*Nerium oleander*)
22. Peppercorn (*Schinus* spp)
23. Radiata Pine <20 metres in height only (*Pinus Radiata*)
24. Poplar <20 metres in height only (*Populus* spp.)
25. Queensland Silver Wattle (*Acacia podalyriifolia*)
26. Rhus (*Toxicodendron succedaneum*)
27. Rubber Tree (*Ficus elastica*)
28. Silky Oak (*Grevillea robusta*)
29. Slash Pine ( *Pinus elliottii*)
30. Sweet Pittosporum (*Pittosporum undulatum*)
31. Tree Lucern (*Tagasaste Chamaecytisus palmensis*)
32. Tree of Heaven (*Ailanthus altissima*)
33. Umbrella Tree (*Schefflera actinophylla*)
34. Wild Tobacco Tree (*Solanum mauritianum*)
35. Willow (*Salix* spp.)



36. Yellow Bells (*Tecoma stans*).
- b) The tree is of a species that is a declared noxious weed by the NSW Government.
  - c) The tree is located within 3 metres of an existing lawfully constructed building or access driveway.
  - d) The tree is located within 3 metres of a building or access driveway authorised by a development consent. For the purposes of this exemption a complying development certificate is NOT a development consent.
  - e) The tree is less than 1m tall.
2. For the purposes of Clauses 5.9 and 5.9AA the trees referred to in Clause 8.3 (1) of this volume are not prescribed for the purposes of Clause 5.9. All other trees are prescribed for the purposes of Clause 5.9.

#### **10.4 Trees that may be removed only with a permit**

In addition to the requirements of Clause 5.9 of Wollondilly Local Environmental Plan 2011, the Council may only issue a permit for the removal of trees if the proposed tree removal meets any one of the descriptions below:

- a. If it is located within a R2, R3, B1, B2 or B4 zone:
  - i. No more than 5 trees are proposed for removal; and
  - ii. The tree(s) is/are not located within a Natural Resources Biodiversity Area.
- b. If it is located within a IN1, IN2, RU1, RU2, RU4 zone:
  - i. No more than 5 trees are proposed for removal; and
  - ii. The tree(s) is/are not located within a Natural Resources Biodiversity Area; and
  - iii. The tree(s) is/are not located within 100m of an existing stand of native vegetation covering more than 5,000m<sup>2</sup> of land.
- c. If it is located within an Asset Protection Zone and the Council is satisfied that the removal of the tree is the most reasonable way to achieve technical compliance with the guidelines issued by the NSW Rural Fire Service.

#### **10.5 Trees that may be removed only with consent**

Any tree not covered by Clauses 8.3 or 8.4 of this volume may be removed only with development consent.

## PART 11 – Landscaping

### 10.1 Objectives

1. To encourage the planting of endemic species in landscaping.
2. To reduce the risk of landscaping on the environmental, infrastructure and human safety.
3. To create a landscape character that is defined by native vegetation and not introduced species.

### 10.2 Recommended Species

Tabulated below are the recommended plant species for the various localities in the Shire.

**Table 1: Recommended Groundcover and Small Shrub Species (under 1 metre) for the Shire**

Botanic name	Common Name	Comments
<i>Acacia myrtifolia</i>	Myrtle Wattle	Most well drained soils
<i>Clematis glycinoides</i>	Old Man's Beard	Well drained soils
<i>Dillwynia retorta</i>	Healthy Parrot Pea	Sandy and clay soils
<i>Hardenbergia violaceae</i>	Purple Twining-pea	sandy, clay and rocky soils
<i>Indigophora australis</i>	Native Indigo	Grows on shale and rocky slopes
<i>Kennedia rubicunda</i>	Dusky Coral Pea	Tolerates dry conditions
<i>Lomandra logifolia</i>	Spiny-head Mat Rush	Requires moist soil
<i>Patersonia sericea</i>	Silky Purple Flag	Sandy soils
<i>Pimelia linifolia</i>	Rice Flower	Tolerates dry soils
<i>Rubus parvifolius</i>	Native Raspberry	Very hardy, most soils
<i>Stypantra glauca</i>	Nodding Blue Lily	Most soils, good drainage
<i>Viola hederaceae</i>	Native Violet	Needs moist soil

**Table 2: Recommended Shrub Species (1 to 5 metres) for the Shire**

Botanic name	Common Name	Comments
<i>Acacia binervata</i>	Two-veined Hickory	Favours moist sites
<i>Acacia floribunda</i>	White Sallow or Sally Wattle	Sandy alluvial soil
<i>Acacia linifolia</i>	Flax-leaved Wattle	Sandy, clay soils
<i>Acacia longifolia</i>	Sydney Golden Wattle	Sandy soils
<i>Acacia terminalis</i>	Sunshine Wattle	Well drained soils
<i>Banksia serrata</i>	Old Man Banksia	Prefers sandy, well drained soil
<i>Banksia spinolosa</i>	Hairpin Banksia	Light to moderately heavy soils
<i>Bursaria spinosa</i>	Blackthorn	Dry to wet sclerophyll forest
<i>Callistemon salignus</i>	Willow Bottlebrush	Tolerates wet conditions
<i>Grevillea mucronulata</i>	Green Spider-flower	Sandy to clay soils
<i>Grevillea sericea</i>	Pink Spider-flower	Sandy soils
<i>Hakea dactyloides</i>	Finger Hakea	Mostly sandy soils
<i>Kunzea ambigua</i>	Tick Bush	Well drained soils
<i>Leptospermum polygalifolium</i>	Yellow Tea-tree	Frost hardy, well drained soils
<i>Ozothamnus diosmifolius</i>	Everlasting Paper Daisy	Variety of soils
<i>Persoonia levis</i>	Broad-leaf Geebung	Well drained soils
<i>Persoonia pinifolia</i>	Pine-leaf Geebung	Hardy, most well drained soils

**Table 3: Additional Shrub Species: Oakdale, Werombi and Theresa Park area**

Botanic name	Common Name	Comments
<i>Callistemon citrinus</i>	Crimson Bottlebrush	Most soils
<i>Dodonaea triquetra</i>	Common Hop bush	Well drained sandy soils
<i>Hakea sericea</i>	Silky Hakea	Well drained soils

**Table 4: Additional Shrub Species: Douglas Park, Wilton and Appin area**

Botanic name	Common Name	Comments
<i>Hakea sericea</i>	Silky Hakea	Well drained soils

**Recommended Tree Species by locality**
**Table 5: Southern Area: Bargo, Buxton, Tahmoor and Thirlmere:**

Botanic name	Common Name	Comments
<i>Acacia elata</i>	Cedar Wattle	Sand, loam or clay soils
<i>Acacia mearnsii</i>	Black Wattle	Does not tolerate dry or poor soils
<i>Angophora floribunda</i>	Rough-barked Apple	Tolerates most soil types
<i>Angophora subvelutina</i>	Broad-leaved Apple	Woodland tree
<i>Casuarina cunninghamiana</i>	River She-oak	Will survive heavy clay or sandy soils
<i>Allocasuarina littoralis</i>	Black She-oak	Woodland tree
<i>Eucalyptus baueriana</i>	Blue Box	Prefers well drained soil
<i>Eucalyptus crebra</i>	Narrow-leaved Ironbark	Shallow and sandy soils
<i>Eucalyptus globoidea</i>	White Stringybark	Well watered sandy or alluvial soils
<i>Eucalyptus haemastoma</i>	Scribbly Gum	Skeletal sandstone soils
<i>Eucalyptus moluccana</i>	Grey Box	Loamy soils
<i>Eucalyptus punctata</i>	Grey Gum	Soils of low to medium fertility
<i>Eucalyptus tereticornis</i>	Forest Red Gum	Soils of medium to high fertility
<i>Eucalyptus viminalis</i>	Ribbon or Manna Gum	Fertile loamy soils
<i>Melaleuca linearifolia</i>	'Snow in summer'	Very hardy, clay or shale soils
<i>Melaleuca styphelioides</i>	Prickly leaved Paperbark	Drought tolerant, sandstone and shale soils

**Table 6: Central Area: Douglas Park, Appin, Wilton, Picton, The Oaks, Razorback, Mt Hunter Cawdor and Menangle**

Botanic name	Common Name	Comments
<i>Acacia decurrens</i>	Sydney Green Wattle	Heavy soils
<i>Acacia elata</i>	Cedar Wattle	Sand, loam or clay soils
<i>Acacia mearnsii</i>	Black Wattle	Does not tolerate dry or poor soils
<i>Acacia parramattensis</i>	Parramatta Wattle	Very frost hardy
<i>Angophora floribunda</i>	Rough-barked Apple	Tolerates most soil types
<i>Angophora subvelutina</i>	Broad-leaved Apple	Woodland tree
<i>Brachyciton populneus</i>	Bottle tree	Needs good drainage
<i>Casuarina cunninghamiana</i>	River She-oak	Will survive heavy clay or sandy soils
<i>Allocasuarina littoralis</i>	Black She-oak	Woodland tree
<i>Eucalyptus amplifolia</i>	Cabbage Gum	Loamy soils
<i>Eucalyptus creba</i>	Narrow-leaved Ironbark	Shallow and sandy soils
<i>Eucalyptus eugenoides</i>	Thin-leaved Stringybark	Clay soils
<i>Eucalyptus globoidea</i>	White Stringybark	Well watered sandy or alluvial soils
<i>Eucalyptus haemastoma</i>	Scribbly Gum	Skeletal sandstone soils
<i>Eucalyptus maculata</i>	Spotted Gum	Sandy and clay soils
<i>Eucalyptus molucanna</i>	Grey Box	Loamy soils
<i>Eucalyptus punctata</i>	Grey Gum	Soils of low to medium fertility
<i>Eucalyptus tereticornis</i>	Forest Red Gum	Soils of medium to high fertility
<i>Melaleuca linearifolia</i>	'Snow in summer'	Very hardy, clay or shale soils
<i>Melaleuca styphelioides</i>	Prickly-leaved Paperbark	Drought tolerant, sandstone and shale soils

**Table 7: Northern Area: Oakdale, Werombi, Theresa Park, Warragamba and Silverdale**

Botanic name	Common Name	Comments
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<i>Acacia parramattensis</i>	Parramatta Wattle	Very frost hardy
<i>Angophora costata</i>	Smooth-barked Apple	Sandy soils
<i>Callitris rhomboidea</i>	Port Jackson Pine	Drought tolerant
<i>Allocasuarina torulosa</i>	Forest Oak	Well drained soils
<i>Eucalyptus creba</i>	Narrow-leaved Ironbark	Shallow and sandy soils
<i>Eucalyptus eximia</i>	Yellow Bloodwood	Drought tolerant
<i>Eucalyptus longifolia</i>	Woollybutt	Heavy moist soils
<i>Eucalyptus maculata</i>	Spotted Gum	Sandy and clay soils
<i>Eucalyptus moluccana</i>	Grey Box	Loamy soils
<i>Eucalyptus pilularis</i>	Blackbutt	Clay and sandy soils
<i>Eucalyptus punctata</i>	Grey Gum	Soils of low to medium fertility
<i>Eucalyptus tereticornis</i>	Forest Red Gum	Soils of medium to high fertility
<i>Melaleuca linariifolia</i>	'Snow in summer'	Very hardy, clay or shale soils
<i>Melaleuca linearifolia</i>	'Snow in summer'	Very hardy, clay or shale soils
<i>Syncarpia glomulifera</i>	Turpentine	Most soils

### 10.3 Banned Species

The following species are not to be used in landscaping within Wollondilly:

- Conifers,
- Species specified in Clause 10.3(1)(a),
- Species identified as Noxious Weeds under the Noxious Weeds Act,
- Species identified as a weed under any adopted policy of the Council.

### 10.4 Street Trees

Street tree planting must comply with the Council's Tree Risk Management Plan.

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## **PART 12 – Signage**

### **11.1 Objectives**

1. To provide controls for the implementation of the Advertising structures in commercial or industrial zones section of Schedule 2 of Wollondilly Local Environmental Plan, 2011.
2. To ensure signage that is exempt development does not have adverse impacts on traffic safety and pedestrian amenity.
3. To ensure exempt signage does not significantly detract from the amenity of the commercial and industrial built environments.

### **11.2 Signage as exempt development**

1. To be an exempt advertising structures under Schedule 2 of Wollondilly Local Environmental Plan, 2011, the structure must:
  - a. Not be located within a road reserve
  - b. Be a fixed sign
  - c. In the case of a sign attached to a building have no part of the sign higher than the part of the building on which it is attached
  - d. Not be located within 100m of a heritage item or a heritage conservation area
  - e. No be located within 100m of a classified road
  - f. Be designed and installed in accordance with the requirements of a professional engineer
  - g. Not be used for the promotion or advertising of any product or business other than a business operation from the site on which the structure is located
  - h. Not be used for the promotion or advertising of any sex services premises, brothel or restricted premises
  - i. Be the one and only advertising structure on the lot constructed as exempt development under this schedule.